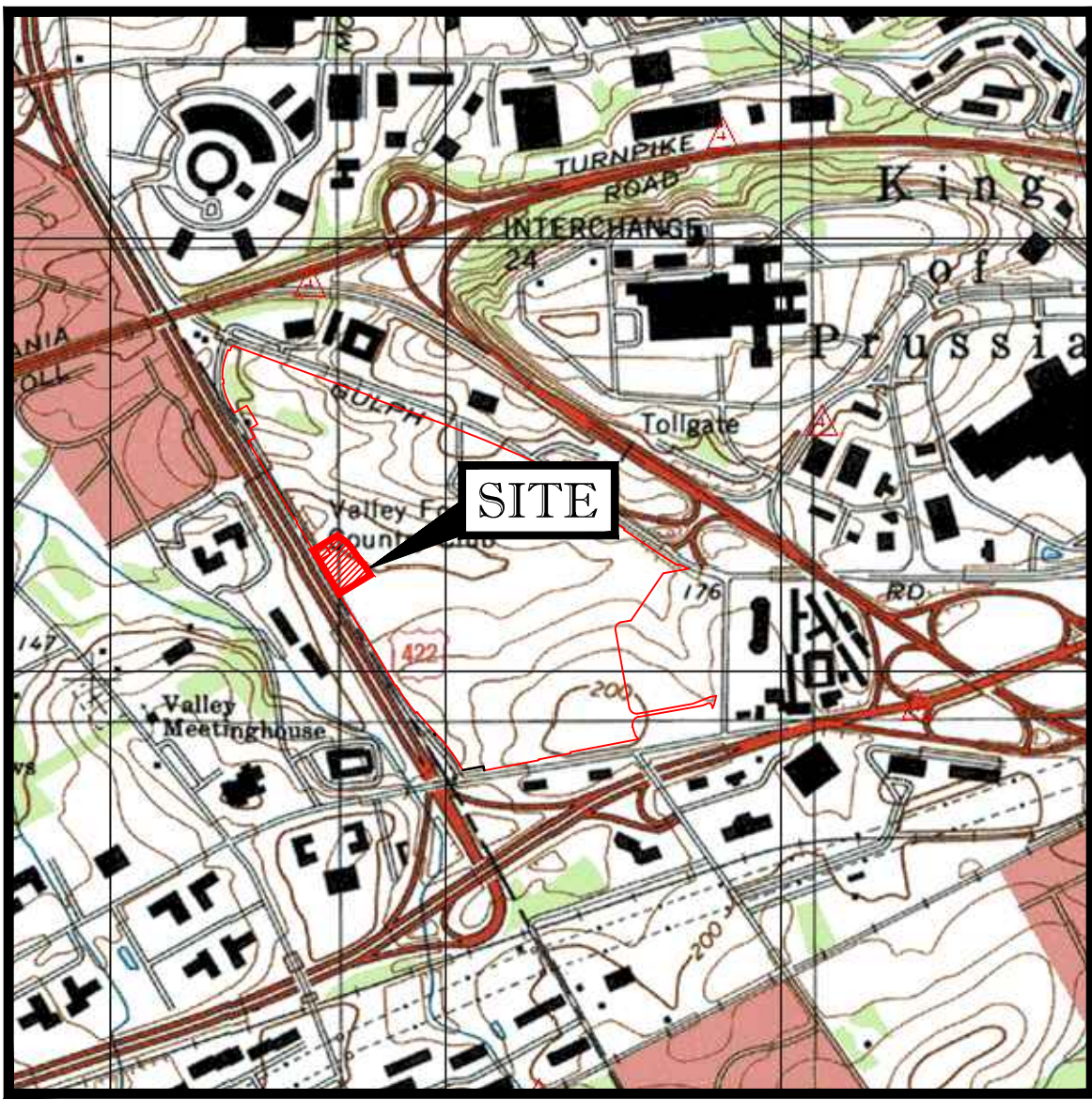


PROPOSED EMS / STORAGE DEVELOPMENT  
PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

SITUATED IN:  
UPPER MERION TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

400 GUTHRIE ROAD  
TAX MAP PARCEL NUMBER: 58-00-17494-86-3 (new)

DEVELOPER / OWNER:  
VALLEY FORGE STORAGE VENTURE, L.L.C.  
1550 VINE STREET, PHILADELPHIA, PA 19102



USGS MAP  
(VALLEY FORGE QUAD)  
1"=1,200'  
600' 0 1,200'



LOCATION MAP  
1"=800'  
1,000' 0 2,000'



VICINITY MAP  
1"=2,000'  
1,000' 0 2,000'

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET (RECORD PLAN SHEET 1 OF 3)	C-001
SITE PLAN (RECORD PLAN SHEET 2 OF 3)	C-002
PROJECT NOTES (RECORD PLAN SHEET 3 OF 3)	C-003
EXISTING CONDITIONS & DEMOLITION PLAN	C-004
GRADING PLAN	C-005
UTILITY PLAN	C-006
PROFILES	C-007
SOIL EROSION & SEDIMENT POLLUTION CONTROL PLAN	C-008
SOIL EROSION & SEDIMENT POLLUTION CONTROL NOTES	C-009
SOIL EROSION & SEDIMENT POLLUTION CONTROL DETAILS	C-010
DETAILS	C-011 - C-013
INLET DRAINAGE AREA PLAN	C-014
VEHICLE CIRCULATION PLAN	C-015
LIGHTING PLAN	C-016
LANDSCAPE PLAN	C-017

SHEETS 1 THROUGH 3 OF THIS PLAN SET WILL BE  
CONSIDERED A COMPLETE RECORD PLAN SET FOR  
FILING PURPOSES IN THE MONTGOMERY COUNTY  
RECORDER OF DEEDS OFFICE.

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF MONTGOMERY

OWNER/CORPORATE CERTIFICATION

I DO HEREBY CERTIFY THAT VALLEY FORGE STORAGE VENTURE, L.L.C., A DELAWARE  
LIMITED LIABILITY COMPANY, IS THE REGISTERED OWNER OF THE LAND HEREIN  
SUBDIVIDED, PROPOSED TO BE DEVELOPED AND THAT IT DOES ADOPT THIS PLAN  
AND DESIRE THE SAME TO BE RECORDED.

OWNER: VALLEY FORGE STORAGE VENTURES, L.L.C.

BY: \_\_\_\_\_  
\_\_\_\_\_

NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF MONTGOMERY

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, BEFORE ME THE  
UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_, WHO  
ACKNOWLEDGED HIMSELF/HERSELF TO BE \_\_\_\_\_, THE  
MANAGER OF \_\_\_\_\_ AND HE/SHE AS SUCH OFFICER BEING AUTHORIZED TO  
DO SO, HAS EXECUTED THE FOREGOING PLAN BY SIGNING HER NAME AS SUCH OFFICER.

IN WITNESS WHEREOF, I HEREUNDER SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

UPPER MERION TOWNSHIP BOARD OF SUPERVISORS

APPROVED BY TOWNSHIP SUPERVISORS OF THE TOWNSHIP OF UPPER MERION THIS  
\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_ CHAIRPERSON \_\_\_\_\_ TOWNSHIP MANAGER

TOWNSHIP ENGINEER (REVIEWED BY) \_\_\_\_\_

COUNTY RECORDER OF DEEDS

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN NORRISTOWN, PENNSYLVANIA,  
IN PLAN \_\_\_\_\_

BOOK NO. \_\_\_\_\_, PAGE NO. \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_\_\_.

COUNTY RECORDER OF DEEDS

\_\_\_\_\_

NO Review Required  
CERTIFIED FOR RECORDING \_\_\_\_\_ DATE \_\_\_\_\_  
\_\_\_\_\_  
For the Director  
Montgomery County Planning Commission

SURVEYOR'S CERTIFICATION, BOUNDARY & TOPOGRAPHY

THIS IS TO CERTIFY THAT THIS PLAN REPRESENTS A FIELD SURVEY BY ME OR UNDER MY  
SUPERVISION, THAT ALL PROPERTY CORNERS ARE SET AS SHOWN HEREON, THAT ALL  
GEOMETRIC AND GEODETIC DETAILS AS SHOWN ARE CORRECT, AND THAT ALL LOTS OR  
TRACTS HAVE A BOUNDARY CLOSURE OF 1:10,000 OR BETTER.

\_\_\_\_ JAMES C. WEED \_\_\_\_\_ DATE \_\_\_\_\_

PENNSYLVANIA PROFESSIONAL LAND SURVEYOR No. SU075250

**BOHLER ENGINEERING**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	BY	DATE
1	4/1/19	PER SELLER COMMENTS	CO	
2	4/26/19	PER TOWNSHIP & SELLER COMMENTS	JW	
3			GB	
4			JW	
5				
6				
7				
8				
9				

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CONSTRUCTION

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AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A  
CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PP180258  
DRAWN BY: CRO  
DATE: 03/25/2019  
SCALE: AS NOTED  
CAD I.D.: PP180258DETAILS-2

PROJECT:  
PRELIMINARY / FINAL  
LAND DEVELOPMENT  
PLANS

FOR  
VALLEY FORGE STORAGE  
VENTURES, L.L.C.

EMS/SELF STORAGE  
400 GUTHRIE ROAD  
KING OF PRUSSIA  
UPPER MERION TOWNSHIP  
MONTGOMERY COUNTY, PA

**BOHLER ENGINEERING**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
www.BohlerEngineering.com

**C. BROWN**  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE No. PE075317  
DELAWARE LICENSE No. 18093  
NEW JERSEY LICENSE No. 24GE05041400

SHEET TITLE:

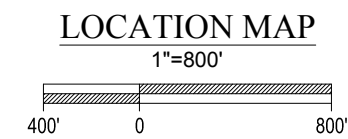
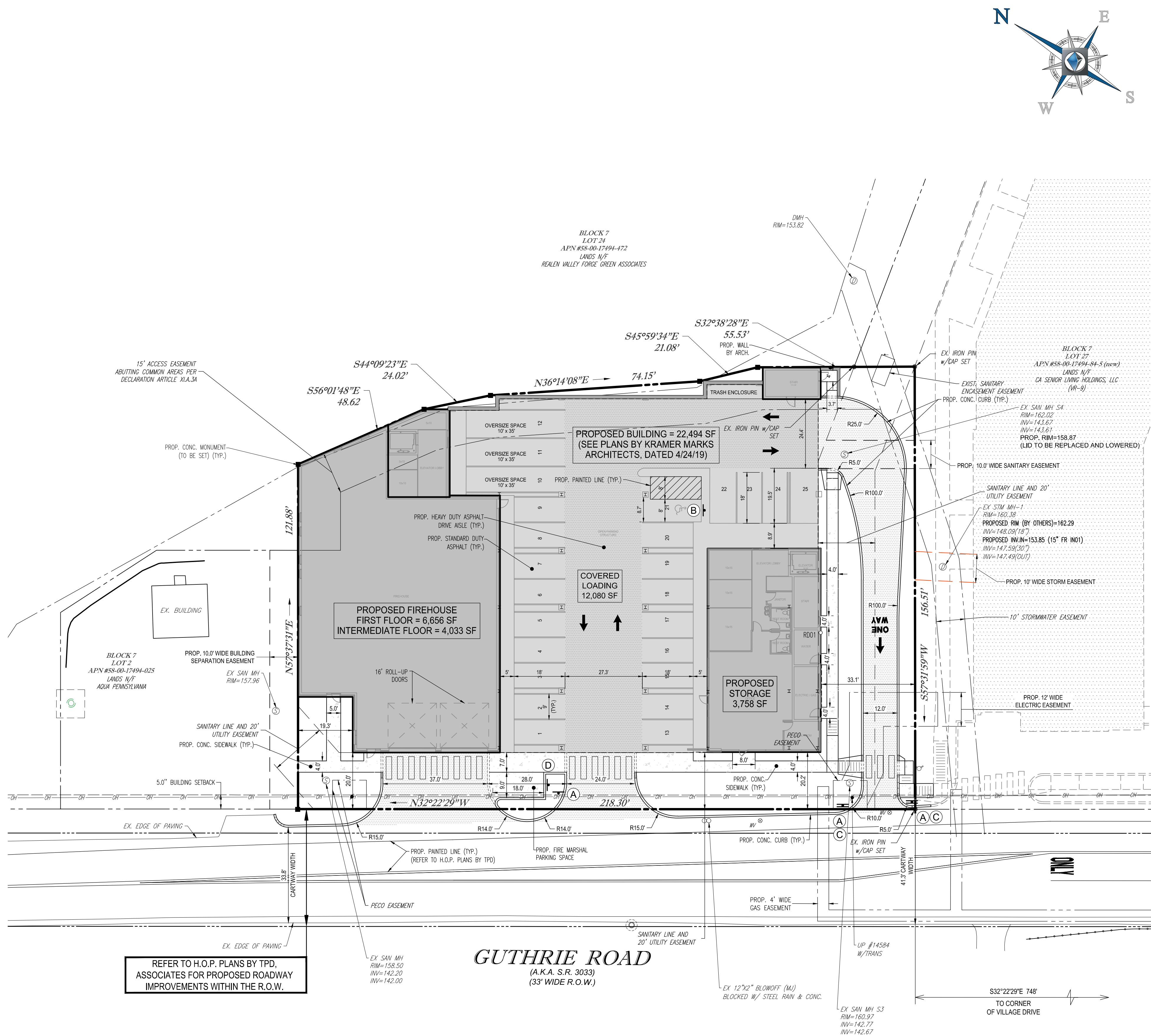
COVER SHEET  
(RECORD PLAN 1 OF 3)

SHEET NUMBER:  
C-001  
OF 17

REVISION 2



R:\18\PP180258\DRAWINGS\PLAN SETS\LAND DEVELOPMENT\REVISION 2 (WORKING)\PP180258BASE-2-1-LAYOUT C-002 SITE

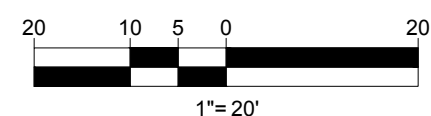


### PROPOSED SIGNAGE SYMBOL LEGEND

- (A) PROPOSED 'STOP' SIGN (R1-1)
- (B) PROPOSED 'RESERVED PARKING' SIGN (R7-8) & RESERVED PARKING PENALTIES SIGN (R7-8F) & PROPOSED 'VAN ACCESSIBLE' SIGN (R7-8B)
- (C) PROPOSED 'DO NOT ENTER' SIGN (R5-1)
- (D) PROPOSED 'RESERVED FOR FIRE MARSHAL' SIGN

### DRAWING LEGEND

- PROPERTY BOUNDARY
- RIGHT OF WAY LINE
- EXIST. EASEMENT
- EXIST. CURB
- PROP. CONCRETE CURB
- PROP. BUILDING
- FUTURE BUILDING
- PROP. CONCRETE PAVING
- PROP. HEAVY DUTY ASPHALT PAVING
- PROP. ADA RAMP
- EXIST. HYDRANT
- EXIST. WATER VALVE
- EXIST. VALVE
- EXIST. STREET LIGHT
- EXIST. MANHOLE
- EXIST. INLET
- EXIST. SIGN
- EXIST. TREE
- PROP. INLET
- PROP. YARD DRAIN
- PROP. ROOF DRAIN
- PROP. MANHOLE
- PROP. CLEANOUT
- PROPOSED CONCRETE MONUMENT (TO BE SET)



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PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
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PROJECT No.:	PP180258
DRAWN BY:	CRO
CHECKED BY:	JPW
DATE:	03/25/2019
SCALE:	1"=20'
CAD I.D.:	PP180258BASE-2

### PRELIMINARY / FINAL LAND DEVELOPMENT PLANS

FOR  
**VALLEY FORGE STORAGE VENTURES, L.L.C.**

EMS/SELF STORAGE  
400 GUTHRIE ROAD  
KING OF PRUSSIA  
UPPER MERION TOWNSHIP  
MONTGOMERY COUNTY, PA

**BOHLER ENGINEERING**

1515 MARKET STREET, SUITE 520  
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Fax: (267) 402-3401  
www.BohlerEngineering.com

**C. BROWN**

PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE No. PE075517  
DELAWARE LICENSE No. 18093  
NEW JERSEY LICENSE No. 24GE05041400

SHEET TITLE:

**SITE PLAN**  
(RECORD PLAN 2 OF 3)

SHEET NUMBER:

**C-002**  
OF 17

REVISION 2







REVISIONS				
REV	DATE	COMMENT	BY	CHKD
1	4/1/19	PER SELLER COMMENTS	CO	
2	4/26/19	PER TOWNSHIP & SELLER COMMENTS	GB	
3			JW	
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PROJECT No.: PP180258  
DRAWN BY: CRO  
CHECKED BY: JWP  
DATE: 03/25/2019  
SCALE: 1"=20'  
CAD I.D.: PP180258BASE-2

PROJECT:  
**PRELIMINARY / FINAL  
LAND DEVELOPMENT  
PLANS**

FOR  
**VALLEY FORGE STORAGE  
VENTURES, L.L.C.**

EMS/SELF STORAGE  
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[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

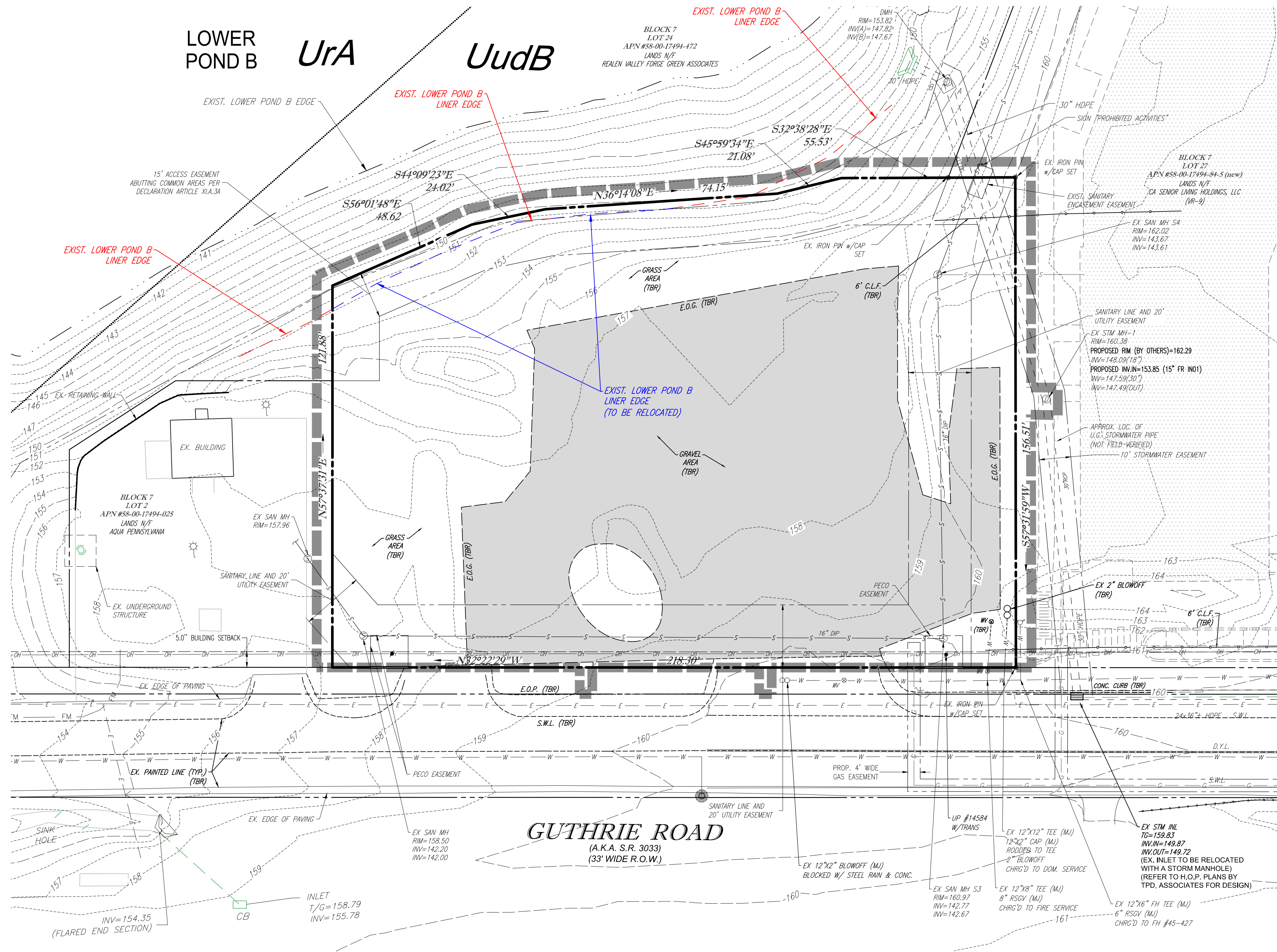
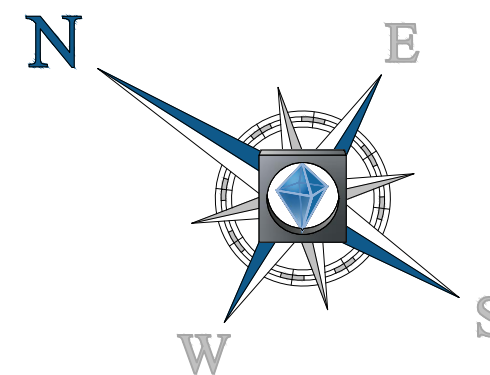
**C. BROWN**

PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE No. PE075317  
DELAWARE LICENSE No. 18093  
NEW JERSEY LICENSE No. 24GE05041400

SHEET TITLE:  
**EXISTING  
CONDITIONS &  
DEMOLITION  
PLAN**

SHEET NUMBER:  
**C-004**  
OF 17

REVISION 2



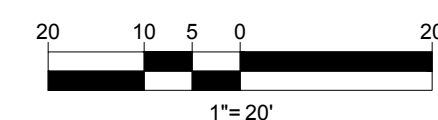
**UTILITIES:**

THE FOLLOWING COMPANIES WERE NOTIFIED BY PENNSYLVANIA ONE CALL SYSTEM, INC. (1-800-242-1776) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.

UTILITY COMPANY	PHONE NUMBER
AQUA PENNSYLVANIA, INC.	610-525-1400
COMCAST CABLEVISION	215-961-3800
FRONTIER COMMUNICATIONS	1-866-901-7386
UPPER MERION COLLECTION SYSTEM	610-275-1534
LEVEL 3	610-265-2600
PECO	720-888-0165
VERIZON	215-956-3220
ZAYO BANDWIDTH	(215) 657-9260
AT & T	1-800-390-6094
MCI	800-222-0400
RCN CABLE(FORMERLY C-TECH)	800-888-0800
SUNOCO PIPELINE	484-461-6020
	215-669-3232

**DRAWING LEGEND**

---	PROPERTY BOUNDARY	○	EXIST. HYDRANT
---	RIGHT OF WAY LINE	○	EXIST. WATER VALVE
---	ADJACENT PROPERTY BOUNDARY	○	EXIST. VALVE
---	EXIST. EASEMENT	○	EXIST. STREET LIGHT
---	EXIST. CURB	○	EXIST. MANHOLE
-G-	EXIST. GAS LINE	○	EXIST. INLET
-W-	EXIST. WATER LINE	○	EXIST. TREE
-C-	EXIST. TELEPHONE LINE	○	EXIST. SIGN
-E-	EXIST. ELECTRIC LINE	○	EXIST. SPOT ELEVATION
-S-	EXIST. SANITARY SEWER PIPING	○	EXIST. TOP OF CURB ELEVATION
-FM-	EXIST. SANITARY FORCE MAIN	○	EXIST. BOTTOM OF CURB ELEVATION
-OH-	EXIST. OVERHEAD LINE	○	TEST BORING
---	EXIST. STORM SEWER PIPING	○	
---	LIMIT OF DISTURBANCE	○	
---	EXIST. CONTOUR	○	
---	SOIL TYPE LINE	○	
---		○	GRAVEL AREA TO BE REMOVED
---		○	FUTURE BUILDING (BY OTHERS)





REVISIONS

REV	DATE	COMMENT	BY
1	4/1/19	PER SELLER COMMENTS	CO
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3			GB
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PROJECT No.: PP180258  
DRAWN BY: CRO  
CHECKED BY: JPW  
DATE: 03/25/2019  
SCALE: 1"=20'  
CAD I.D.: PP180258BASE-2

PROJECT:  
PRELIMINARY / FINAL  
LAND DEVELOPMENT  
PLANS

FOR  
VALLEY FORGE STORAGE  
VENTURES, L.L.C.

EMS/SELF STORAGE  
400 GUTHRIE ROAD  
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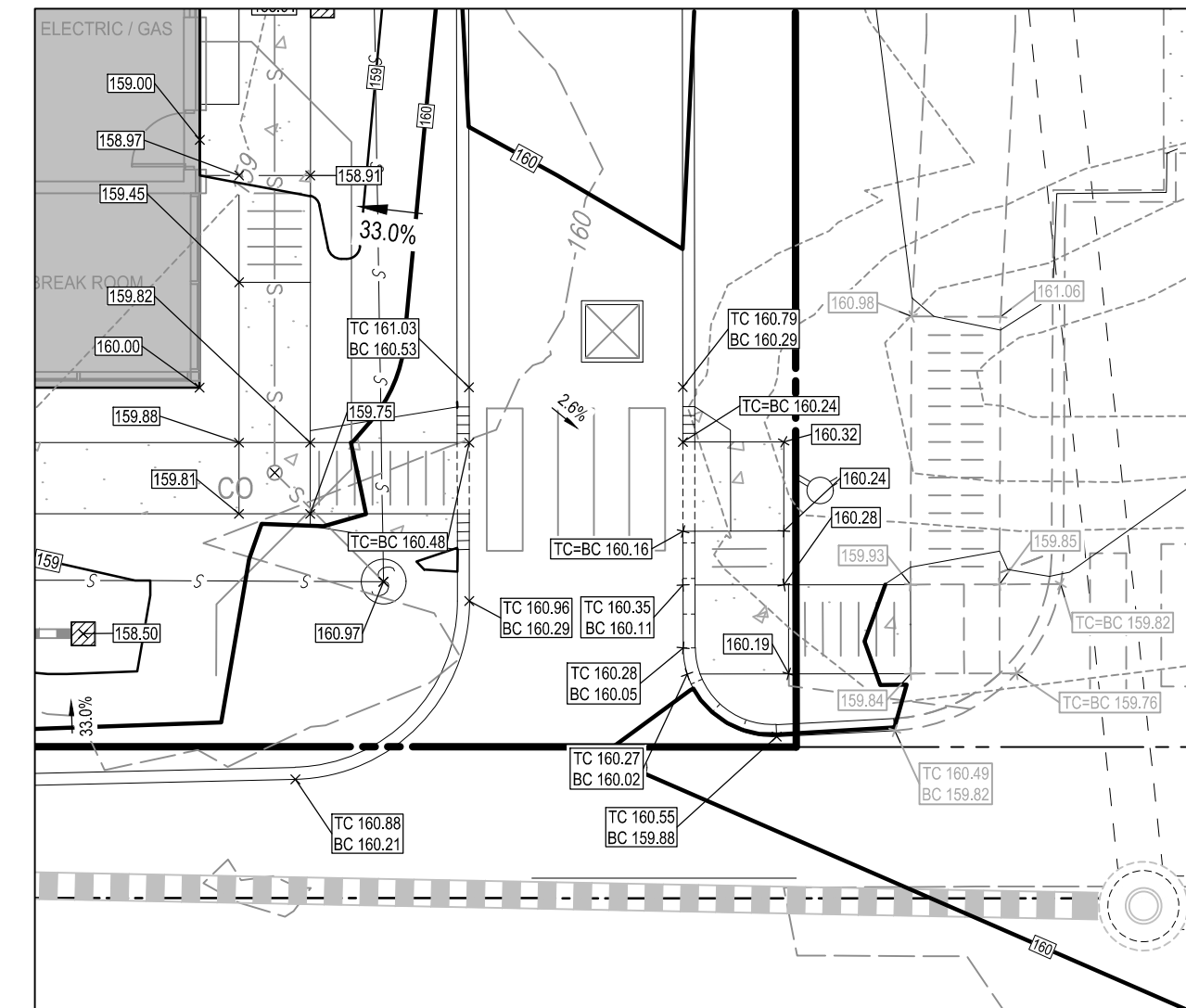
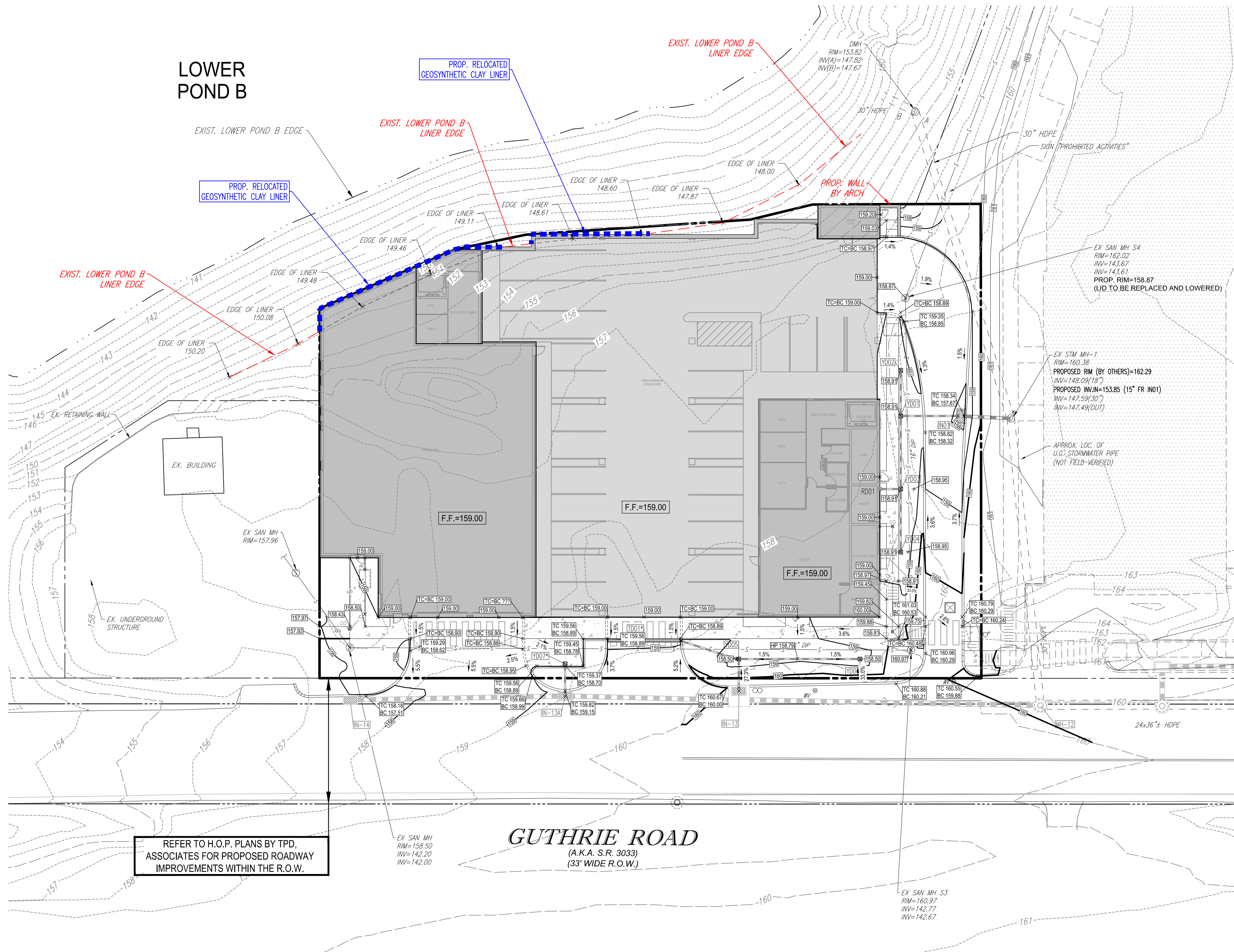
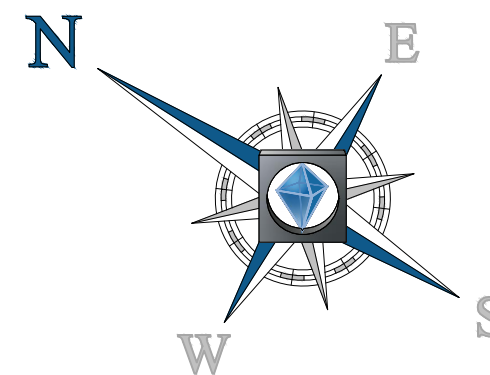
SHEET TITLE:

GRADING  
PLAN

SHEET NUMBER:

C-005  
OF 17

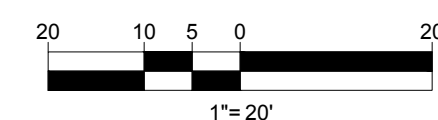
REVISION 2



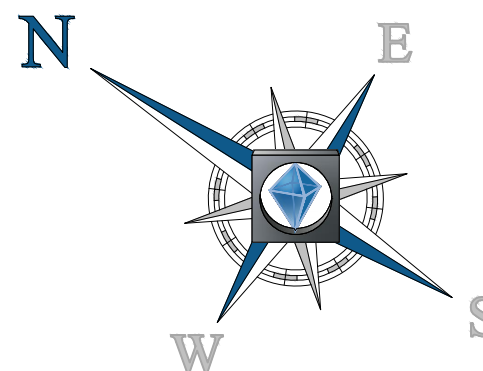
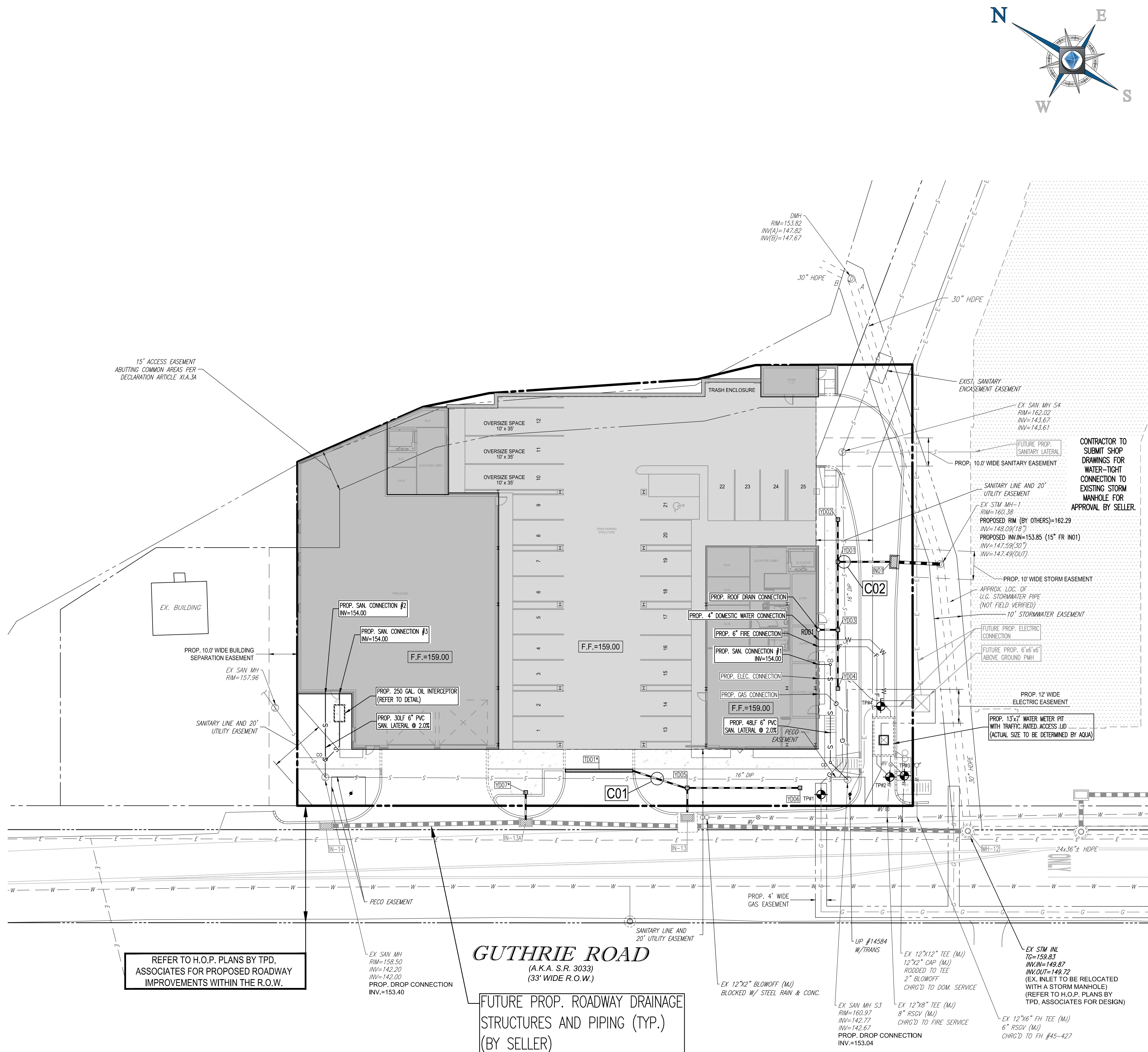
ADA RAMP DETAIL  
SCALE: 1"= 10'

DRAWING LEGEND

---	PROPERTY BOUNDARY	○	EXIST. HYDRANT
---	RIGHT OF WAY LINE	○	EXIST. WATER VALVE
---	EXIST. CURB	○	EXIST. VALVE
---	PROP. CONCRETE CURB	○	EXIST. STREET LIGHT
---	EXIST. CONTOUR	○	EXIST. MANHOLE
---	PROP. CONTOUR	○	EXIST. INLET
---	EXIST. STORM SEWER PIPING	○	EXIST. SIGN
---	PROP. STORM SEWER PIPING	○	EXIST. TREE
---	EXIST. SPOT ELEVATION	○	PROP. INLET
---	EXIST. TOP OF CURB ELEVATION	○	PROP. YARD DRAIN
---	EXIST. BOTTOM OF CURB ELEVATION	○	PROP. ROOF DRAIN
---	PROP. SPOT ELEVATION	○	PROP. MANHOLE
---	PROP. TOP/BOTTOM OF CURB ELEVATIONS	○	PROP. CLEANOUT







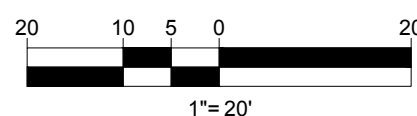
CROSSING TABLE				
* PIPES WITH LESS THAN 1.5' OF CLEARANCE NEED TO BE ENCASED IN CONC.				
NUMBER	UPPER PIPE	LOWER PIPE		CLEARANCE (FT.)
C01	BOTTOM OF PROP. 6" HDPE STORM	155.48	TOP OF EXIST. 16" SANITARY	11.28
C02	BOTTOM OF PROP. 12" HDPE STORM	154.80	TOP OF EXIST. 16" SANITARY	9.48

STORM SEWER STRUCTURE TABLE				
STRUCTURE	RIM/GRATE	INVERT(S) IN	INVERT OUT	TYPE
IN01	157.67	154.42 (12") (YD01)	154.17 (15") (EX. STM MH 1)	
IN13	159.15	151.78 (18") (IN-13A)	151.81 (18") (EX. CB 5)	12" YARD DRAIN
IN-13A	159.15	154.84 (6") (YD05)	152.32 (18") (IN13)	
IN-14	157.42	153.18 (18") (IN-13A)	153.18 (18") (IN-13A)	TYPE 'C' INLET
RD01	159.00	-	155.44 (12") (YD03)	
TD01	158.89	-	155.89 (6") (YD05)	12" YARD DRAIN
YD01	158.91	155.07 (6") (YD02)	154.82 (12") (IN01)	
YD02	158.91	154.82 (12") (YD03)	155.37 (6") (YD01)	TYPE 'C' INLET
YD03	158.91	155.30 (12") (YD04)	155.30 (12") (YD01)	
YD04	158.91	155.30 (12") (YD04)	155.72 (12") (YD03)	12" YARD DRAIN
YD05	158.50	155.20 (6") (YD06)	155.20 (6") (IN13)	
YD06	158.50	155.20 (6") (YD01)	156.00 (6") (YD05)	TYPE 'C' INLET
YD07	158.50	-	156.00 (6") (YD05)	

STORM SEWER RUN TABLE				
RUN	LENGTH (LF)	SLOPE (%)	SIZE (IN)	MATERIAL
IN01 - EX. STM MH 1	16	2.00	15	CORRUGATED HDPE
IN13 - EX. CB 5	96	1.00	18	RCP
IN-13A - IN13	54	1.00	18	RCP
IN-14 - IN-13A	67	1.00	18	RCP
RD01 - YD03	7	2.00	12	CORRUGATED HDPE
TD01 - YD05	20	3.45	6	CORRUGATED HDPE
YD01 - IN01	20	2.00	12	CORRUGATED HDPE
YD02 - YD01	15	2.00	6	CORRUGATED HDPE
YD03 - YD01	24	2.00	12	CORRUGATED HDPE
YD04 - YD03	21	2.00	12	CORRUGATED HDPE
YD05 - IN13	13	2.00	6	CORRUGATED HDPE
YD06 - YD05	40	2.00	6	CORRUGATED HDPE
YD07 - IN-13A	11	2.00	6	CORRUGATED HDPE

NOTE: ALL HDPE STORM PIPE TO BE SMOOTH INTERIOR WITH ANGULAR COORUGATIONS

DRAWING LEGEND	
	PROPERTY BOUNDARY
	RIGHT OF WAY LINE
	EXIST. EASEMENT
	EXIST. GAS LINE
	EXIST. WATER LINE
	EXIST. CABLE LINE
	EXIST. ELECTRIC LINE
	EXIST. SANITARY SEWER PIPING
	PROP. GAS SERVICE
	PROP. WATER SERVICE
	PROP. FIRE SERVICE
	PROP. CABLE LINE
	PROP. TELECOM LINE
	PROP. ELECTRIC LINE
	PROP. SANITARY LATERAL
	PROP. STORM SEWER PIPING
	EXIST. HYDRANT
	EXIST. WATER VALVE
	EXIST. VALVE
	EXIST. STREET LIGHT
	EXIST. MANHOLE
	EXIST. INLET
	EXIST. SIGN
	EXIST. TREE
	PROP. INLET
	PROP. YARD DRAIN
	PROP. ROOF DRAIN
	PROP. MANHOLE
	PROP. CLEANOUT
	EXIST. PROP. TRAFFIC RATED YARD DRAIN OR TRENCH DRAIN
	PROP. PIPE CROSSING
	PROP. TEST PIT



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CAD I.D.: PP180258BASE-2

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PLANS  
FOR  
VALLEY FORGE STORAGE  
VENTURES, L.L.C.  
EMS/SELF STORAGE  
400 GUTHRIE ROAD  
KING OF PRUSSIA  
UPPER MERION TOWNSHIP  
MONTGOMERY COUNTY, PA

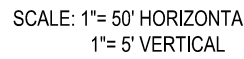
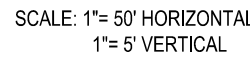
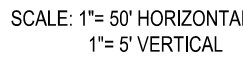
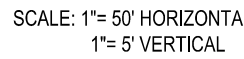
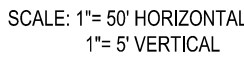
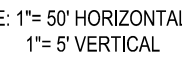
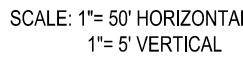
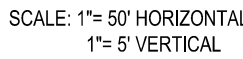
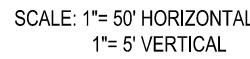
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SHEET TITLE:  
UTILITY  
PLAN  
SHEET NUMBER:  
C-006  
OF 17  
REVISION 2





REVISION :



REVISIONS				
REV	DATE	COMMENT	BY	CHK
1	4/1/19	PER SELLER COMMENTS	CO	JW
2	4/26/19	PER TOWNSHIP & SELLER COMMENTS	GB	JW
3				
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DRAWN BY: CRO  
CHECKED BY: JPW  
DATE: 03/25/2019  
SCALE: 1"=20'  
CAD I.D.: PP180258BASE-2

PROJECT:  
**PRELIMINARY / FINAL  
LAND DEVELOPMENT  
PLANS**

FOR  
**VALLEY FORGE STORAGE  
VENTURES, L.L.C.**

EMS/SELF STORAGE

400 GUTHRIE ROAD  
KING OF PRUSSIA  
UPPER MERION TOWNSHIP  
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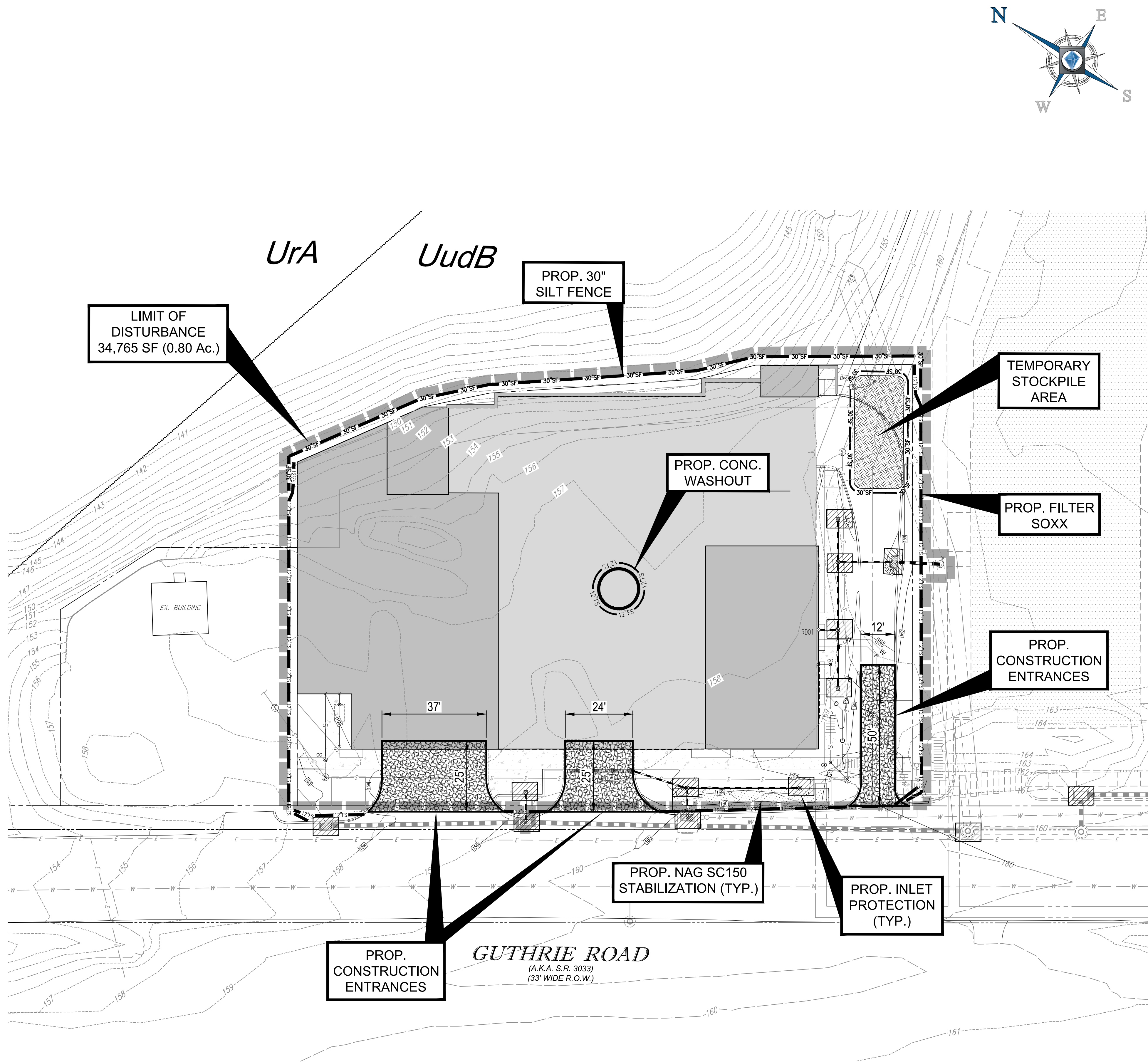
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PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE No. PE075317  
DELAWARE LICENSE No. 18093  
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SHEET TITLE:  
**SOIL EROSION &  
SEDIMENT  
POLLUTION  
CONTROL PLAN**

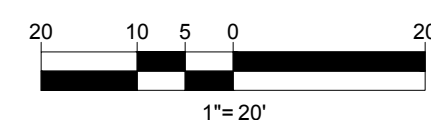
SHEET NUMBER:  
**C-008**  
OF 17

REVISION 2

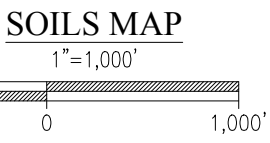


DRAWING LEGEND			
	PROPERTY BOUNDARY		EXIST. HYDRANT
	RIGHT OF WAY LINE		EXIST. WATER VALVE
	EXIST. CONCRETE CURB		EXIST. VALVE
	PROP. CONCRETE CURB		EXIST. STREET LIGHT
	EXIST. CONTOUR		EXIST. MANHOLE
	PROP. CONTOUR		EXIST. INLET
	EXIST. GAS LINE		EXIST. SIGN
	EXIST. WATER LINE		EXIST. TREE
	EXIST. CABLE LINE		PROP. INLET
	EXIST. ELECTRIC LINE		PROP. YARD DRAIN
	EXIST. SANITARY SEWER PIPING		PROP. ROOF DRAIN
	EXIST. STORM SEWER PIPING		PROP. MANHOLE
	PROP. GAS SERVICE		PROP. CLEANOUT
	PROP. WATER SERVICE		
	PROP. FIRE SERVICE		
	PROP. CABLE LINE		
	PROP. TELECOM LINE		
	PROP. ELECTRIC LINE		
	PROP. SANITARY LATERAL		
	PROP. STORM SEWER PIPING		
	LIMIT OF DISTURBANCE		
	30\"/>		
	12\"/>		

**THIS PLAN IS FOR SOIL EROSION &  
SEDIMENT POLLUTION CONTROL  
PURPOSES ONLY**







### LIMITATIONS AND RESOLUTIONS:

1. SHOULD GROUNDWATER BE ENCOUNTERED DURING FOUNDATION OR UTILITY EXCAVATIONS, WATER SHALL BE PUMPED FROM TRENCH INTO FILTER BAG.
2. DUE TO GRADING LIMITATIONS OF SOILS DURING WINTER MONTHS, THE CONTRACTOR SHALL NOT GRADE THESE SOILS DURING FROSTING OR ICING CONDITIONS.
3. SHOULD BEDROCK BE ENCOUNTERED DURING FOUNDATION OR UTILITY EXCAVATION, ROCK SHALL BE REMOVED AND DISPOSED OF IN A LEGAL MANNER.
4. SOIL TEST SHOULD BE PERFORMED TO DETERMINE SOIL SUITABILITY FOR TOPSOIL. IF SOIL IS DETERMINED TO BE UNSUITABLE, THEN TOPSOIL SHALL BE IMPORTED AND DISTRIBUTED THROUGHOUT THE SITE AS REQUIRED.
5. THE SUBJECT SITE DRAINS TO TROUT CREEK, WHICH HAS A WWF/MF, CHAPTER 93 CLASSIFICATION.

### SEEDING SPECIFICATIONS

1. SEEDING DATES:
    - A. SEEDING SHALL OCCUR BETWEEN MARCH 1ST AND MAY 15TH OR BETWEEN AUGUST 15TH AND NO LATER THAN OCTOBER 15TH.
    - B. IF SEEDING CANNOT BE CONDUCTED DURING THE TIMEFRAMES NOTED ABOVE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE LOCAL CONSERVATION DISTRICT AND ALL APPROPRIATE AGENCIES TO DETERMINE AN ACCEPTABLE MEANS IN WHICH TO STABILIZE THE SITE THROUGH THE NEXT GROWING SEASON.
  2. SEED MIXTURES: SEED MIXTURE TO BE USED ON THIS SITE SHALL CONSIST OF THE FOLLOWING UNLESS OTHERWISE NOTED ON THE PLANS. RATES ARE IN THE FORM OF POUNDS PER ACRE (LBS/A) PER PURE LIVE SEED (POUNDS / ACRE PLS). CONTRACTOR WILL NEED TO ADJUST ACCORDINGLY BASED ON THE SEED GERMINATION AND PURITY RATING (SEE ITEM #3 BELOW).
    - A. TEMPORARY SEED MIXTURES: DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE DISTURBED AGAIN WITHIN TWELVE (12) MONTHS MUST BE SEEDDED WITH A TEMPORARY SEED MIXTURE AS FOLLOWS:

ANNUAL RYE (40 POUNDS / ACRE PLS)  
OR SPRING OATS (96 POUNDS / ACRE PLS)  
OR WINTER RYE (168 POUNDS / ACRE PLS)

(REFERENCE: PENN STATE EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND, TABLE 5)
    - B. PERMANENT SEEDING SHALL CONSIST OF A NURSE CROP PLUS A PERMANENT SEED MIXTURE, AS FOLLOWS:

1. NURSE CROP (SELECT ONE):

ANNUAL RYE (10 POUNDS / ACRE PLS)  
OR SPRING OATS (64 POUNDS / ACRE PLS)  
OR WINTER RYE (56 POUNDS / ACRE PLS)

(REFERENCE: PA DEP EROSION AND SEDIMENT CONTROL PROGRAM MANUAL, LATEST EDITION, TABLE 11.4, SEED MIX #1)
    2. PERMANENT SEED MIX:

TALL FESCUE (64 POUNDS / ACRE PLS)  
OR FINE FESCUE (35 POUNDS / ACRE PLS)  
OR KENTUCKY BLUEGRASS (25 POUNDS / ACRE PLS) PLUS REDTOP (3 POUNDS / ACRE PLS)  
OR PERENNIAL RYEGRASS (15 POUNDS / ACRE PLS)

(REFERENCE: PA DEP EROSION AND SEDIMENT CONTROL PROGRAM MANUAL, LATEST EDITION, TABLE 11.4, SEED MIX #2)
3. PURE LIVE SEED:
  - A. SEED USED FOR THE PURPOSE OF PERMANENT STABILIZATION SHALL BE LABELED WITH GERMINATION AND PURITY PERCENTAGES. UNLABELED SEED WILL BE REJECTED. SEED SHALL NOT BE USED MORE THAN ONE (1) YEAR BEYOND THE LABEL DATE.
  - B. DETERMINING THE PERCENT PURE LIVE SEED (PERCENT PLS) OF A LABELED SEED: MULTIPLY BY THE PERCENTAGE OF PURE SEED BY THE PERCENTAGE OF GERMINATION AND DIVIDE THE RESULT BY 100 ( (PURE X GERMINATION) / 100 )
  - C. DETERMINING THE ACTUAL SEED RATE: SIMPLY DIVIDE THE PERCENT PLS RATING OF THE SEED INTO THE PLS REQUIRED, AS NOTED ABOVE. THE RESULT IS THE POUNDS OF SEED REQUIRED. FOR EXAMPLE: IF THE REQUIRED RATE IS 64 POUNDS PLS, AND THE SEED IS RATED AT 35% PLS, DIVIDE 64 BY 0.35 TO GET 182.9 POUNDS, WHICH IS THE AMOUNT OF THAT SEED REQUIRED PER ACRE.
4. APPLICATION OF SEED: SEEDING SHALL BE APPLIED AND ESTABLISHED IN ACCORDANCE WITH THE "EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL" AS PUBLISHED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF WATER QUALITY PROTECTION (MOST RECENT EDITION).
  - A. SEED SHALL BE APPLIED IN A NON-COMPACTED, ROUGHENED TOPSOIL.
  - B. SEED MAY BE APPLIED THROUGH ANY OF THE FOLLOWING MEANS AND METHODS, OR OTHER ACCEPTED INDUSTRY PRACTICES, UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS:
    - I. DRILL SEEDING
    - II. BROADCAST SEEDING (TWO DIRECTIONS)
    - III. HYDROSEEDING (TWO DIRECTIONS)
  - C. ALL SEED SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED UNTIL A 70% PERENNIAL COVER IS ACHIEVED:
    1. TEMPORARY STABILIZATION WITH STRAW:

1. STRAW MULCH SHALL BE APPLIED ON TOP OF THE FRESHLY SEEDDED AREAS AT A RATE OF 3 TONS PER ACRE. (4 TONS PER ACRE BETWEEN NOVEMBER 1ST AND MARCH 1ST).
    2. STRAW MULCH SHALL BE STABILIZED WITH A WOOD OR PAPER FIBER MULCH AND TACKIFIER SOLUTION IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S SPECIFICATIONS.
  - D. TEMPORARY/PERMANENT STABILIZATION WITH EROSION CONTROL MATING/BANKETS (WHERE SPECIFIED):
    1. MATING/BANKETS SHALL BE INSTALLED IN AREAS AS NOTED ON THE EROSION & SEDIMENT CONTROL PLAN OR WITHIN 50 FEET OF PONDS, STREAMS OR WETLANDS. THE PRODUCT SHALL BE INSTALLED AND STARTED ON TOP OF THE SEEDING IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
    2. AREAS WITH MATING/BANKETS SHALL NOT BE TRACKED (CONTAMINATED) AFTER INSTALLATION.
    3. MATING/BANKETS SHALL BE VISUALLY INSPECTED DAILY TO ENSURE THAT THE PRODUCT IS FUNCTIONING PROPERLY. IS HELD FAST TO THE SOIL SURFACE AND IS IN GOOD CONDITION.
    - D. ONCE SEED HAS BEEN SET, VEHICULAR TRAFFIC OR OTHER SOURCES OF COMPACTION SHALL BE AVOIDED.
  5. IRRIGATION: NEW SEED APPLICATIONS SHOULD BE SUPPLIED WITH ADEQUATE WATER, A MINIMUM OF 1" TWICE A DAY, UNTIL VEGETATION IS WELL ESTABLISHED (A MINIMUM OF 75% COVER).

### GENERAL CONSERVATION NOTES AND SPECIFICATIONS

- I. GENERAL INFORMATION
  - A. THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE AVAILABLE AT THE SITE.
  - B. NO SEDIMENT OR SEDIMENT LOADED WATER MUST BE ALLOWED TO LEAVE THE SITE WITHOUT FIRST BEING PROPERLY FILTERED.
  - C. ANY SEDIMENT THAT IS TRACKED OUTSIDE THE ROAD MUST BE CLEANED OFF BEFORE THE END OF THE DAY.
  - D. DISTURBED AREAS ON WHICH EARTHMOVING ACTIVITIES HAVE CEASED AND WHICH WILL REMAIN EXPOSED SHALL BE STABILIZED IMMEDIATELY, EITHER TEMPORARILY OR PERMANENTLY, INCLUDING THE RESTORATION OF DRIVEWAYS, STOCKPILES, OFF-SITE UNDERGROUND UTILITY LINES AND GRADED PERMITTER AREAS. DURING NON-GERMINATION PERIODS, MULCH MUST BE APPLIED AT RECOMMENDED RATES. CRUSHED STONE ON PERMITTER SUBGRASSES IS CONSIDERED ADEQUATE PROTECTION.
  - E. AREAS THAT FAIL TO GERMINATE MUST BE RE-SEEDDED OR MULCHED.
  - F. WHERE DISTURBED AREAS ARE DIFFICULT TO STABILIZE, NETTING SHOULD BE USED TO HOLD SEED AND MULCH IN PLACE; THIS IS ESPECIALLY IMPORTANT ALONG WATERCOURSES, IN SWALES AND AREAS OF CONCENTRATED FLOWS, STEEP SLOPES.
  - G. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, AND RE-NETTING, MUST BE PERFORMED IMMEDIATELY.
  - H. AT ANY TIME PRIOR TO SITE STABILIZATION ANY E&SP PROBLEMS OCCUR WHICH REQUIRE ADDITIONAL CONTROLS, IMMEDIATE ACTION MUST BE TAKEN TO CORRECT THE PROBLEMS.
  - I. THE CONTRACTOR MUST DEVELOP AND COORDINATE WITH OWNER AND HAVE APPROVED BY THE COUNTY CONSERVATION DISTRICT, A SEPARATE EROSION AND SEDIMENT POLLUTION CONTROL PLAN FOR EACH SPILL, BORROW OR OTHER WORK AREA NOT DETAILED ON THE PERMITTED PLANS, WHETHER LOCATED WITHIN OR OUTSIDE OF THE LIMITS OF CONSTRUCTION.
  - J. CONTRACTOR SHALL NOTIFY THE COUNTY CONSERVATION DISTRICT OF DISPOSAL METHOD AND LOCATION OF MATERIALS (IF ANY) TO BE REMOVED FROM SITE.
  - K. STANDARD FOR DISPOSAL OF MATERIALS ALL MATERIALS IS TO BE RECYCLED OR DISPOSED OF MUST DO SO IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS. STOCKPILES TO BE HAULED OFF SITE MUST HAVE AN APPROVED EROSION AND SEDIMENT CONTROL PLAN AT THE DESTINATION LOCATION.
  - L. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN SOIL STABILIZATION THROUGHOUT CONSTRUCTION. ADDITIONAL MEASURES REQUIRED TO ENSURE ON-SITE AND OFF-SITE STABILIZATION IN AND AHEAD OF CONSTRUCTION ACTIVITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT NO COST TO THE OWNER. IMMEDIATE NOTIFICATION SHALL BE GIVEN TO THE OWNER AND ENGINEER SHOULD ADDITIONAL STABILIZATION MEASURES BE NECESSARY IN ACCORDANCE WITH THE NPDES AND/OR SWPPP REQUIREMENTS FOR THE PROJECT.

- II. STANDARD FOR LAND GRADING
  - A. DEFINITION: RESHAPING THE GROUND SURFACE BY GRADING TO PLAN GRADES, WHICH ARE DETERMINED BY TOPOGRAPHIC SURVEY AND LAYOUT.
    1. PROVISIONS SHALL BE MADE TO SAFELY CONDUCT SURFACE WATER TO STORM DRAINS OR SUITABLE WATER COURSES AND TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES.
    2. ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS.
  - B. INSTALLATION REQUIREMENTS:
    1. TIMBER, LOGS, BRUSH, RUBBISH, ROCKS, STUMPS AND VEGETABLE MATTER WHICH WILL INTERFERE WITH THE GRADING OPERATION OR AFFECT THE PLANNED STABILITY OR FILL AREAS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STANDARD FOR DISPOSAL OF MATERIALS.
    2. FILL MATERIALS TO BE FREE OF BRUSH, RUBBISH, TIMBER, LOGS, VEGETATIVE MATTER AND STUMPS IN AMOUNTS THAT WILL BE DETRIMENTAL TO CONSTRUCTING STABLE FILLS.
    3. ALL FILLS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESS SATURATION.
    4. ALL DISTURBED AREAS SHALL BE LEFT WITH A NEAT AND FINISHED APPEARANCE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESS SATURATION.
    5. (SEE I. D.)

- III. STANDARD FOR UTILITY TRENCH EXCAVATION
  - A. LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
  - B. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUS INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY. DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR A MAX. OF SIX DAYS FOR CERTAIN CASES REQUIRING TESTING OF THE INSTALLED PIPE. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING TO A FACILITY FOR REMOVAL OF SEDIMENT (SEDIMENT FILTER BAG, SEE DETAIL) BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS.
  - C. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES / FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE IMMEDIATELY.
  - D. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUS CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
  - M. ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.

- IV. STANDARD FOR TEMPORARY STABILIZATION
  - A. STANDARD FOR TEMPORARY STABILIZATION WITH FIBERMULCH:
    1. MULCHING IS MOST APPLICABLE TO THOSE AREAS SUBJECT TO PERIODIC DISTURBANCE AND REMOWING. IN ADDITION, STABILIZATION WITH FIBER MULCH SHALL BE USED DURING NON-GERMINATION PERIODS.
    2. PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO THE SLOPE.
    3. GRADE AS NEEDED AND FEASIBLE. SEE STANDARD FOR LAND GRADING.
    4. PROTECTIVE MATERIALS TO BE USED:
      - A. UNROOTED SMALL-DRAIN UN-CROPPED STRAW OR HAY AT 3.0 TONS PER ACRE (4 TONS PER ACRE BETWEEN NOVEMBER 1 AND MARCH 1) SPREAD UNIFORMLY AND ANCHORED WITH LIQUID MULCH BINDER. BINDER PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S SPECIFICATIONS.
      - B. HYDROMULCHER: USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL. LIQUID MULCH BINDER: APPLY IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. PRODUCTS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
  - B. STANDARD FOR TEMPORARY STABILIZATION WITH SEED
    1. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN TWELVE (12) MONTHS MUST BE SEEDDED AND MULCHED IMMEDIATELY WITH A TEMPORARY COVER.
    2. ALL AREAS TO BE PERMANENTLY SEEDDED SHALL ALSO RECEIVE TEMPORARY SEEDING CONCURRENTLY.
    3. SEEDBED PREPARATION FOR TEMPORARY SEEDING:
      - A. PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO SLOPE.
      - B. APPLY AGRICULTURAL LIME AT A RATE OF 1 TONE PER ACRE.
      - C. APPLY 10-10-10 FERTILIZER AT A RATE OF 500 POUNDS PER ACRE.
      - D. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR (4) INCHES.
  - C. SEEDING: SEE SEEDING SPECIFICATIONS

### SEQUENCE OF CONSTRUCTION

1. THIS SEQUENCE OF CONSTRUCTION REFERS TO THE "ON-SITE" LIMIT OF DISTURBANCE. FOR EROSION AND SEDIMENT POLLUTION CONTROLS RELATING TO "OFF-SITE" CONSTRUCTION FOR GUTHRIE ROAD THE CONTRACTOR MUST REFER TO THE PLANS PREPARED BY GILMORE & ASSOCIATES, INC.
2. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
3. AT LEAST SEVEN (7) DAYS BEFORE COMMENCEMENT OF ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LAND OWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENTATION CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE MONTGOMERY COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
4. ALL STRUCTURES ASSOCIATED WITH CONSTRUCTION OF SEDIMENT AND EROSION CONTROL MEASURES MUST BE AVAILABLE ON-SITE PRIOR TO ANY EARTH MOVING/DISTURBANCE.
5. INSTALL CONSTRUCTION ENTRANCE OFF GUTHRIE ROAD.
6. INSTALL SILT FENCE ON DOWNHILL SIDE OF EARTH MOVING ACTIVITIES AS INDICATED ON THE PLANS. PERIMETER SILT FENCE ALSO TO BE INSTALLED AT THIS TIME.
7. CLEAR AND GRUB WITHIN LIMIT OF DISTURBANCE AS INDICATED ON THE PLANS.
8. PERFORM DEMOLITION ACTIVITIES IN ACCORDANCE WITH THE EXISTING CONDITIONS/DEMOLITION PLAN.
9. ADJUST BASIN LINER IN ACCORDANCE WITH THE EXISTING CONDITIONS/DEMOLITION & GRADING PLANS AND LINER ADJUSTMENT DETAILS AND/OR PLANS.
10. INITIATE THE NECESSARY EARTHWORK TO REACH GRADES INDICATED ON THE PLANS. THIS WORK SHALL INCLUDE ROUGH GRADING OF THE PROPOSED BUILDING PAD.
11. BEGIN CONSTRUCTION OF BUILDING, UTILITIES AND INSTALL GUTHRIE ROAD PERMANENT ACCESS AND DRAINAGE IMPROVEMENTS. THE REQUIRED HIGHWAY OCCUPANCY PERMIT FOR GUTHRIE ROAD MUST BE APPROVED BY PENNDOT PRIOR TO ANY WORK WITH GUTHRIE ROAD RIGHT OF WAY.
12. INSTALL PROPOSED CURBING.
13. INSTALL STONE BASE COURSE, BINDER COURSE, AND WEARING COURSE FOR THE DRIVEWAYS TO THE COVERED PARKING AREA AND THE FIREHOUSE.
14. REMOVE ALL CONSTRUCTION DEBRIS AND EXCESS CUT MATERIAL FROM THE SITE IN A LAWFUL MANNER.
15. INLET PROTECTION AND SILT FENCE SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE ADEQUATELY STABILIZED.
16. FINAL GRADE LANDSCAPING AREAS, PLANT TREES AND SHRUBS, AND SPREAD TOPSOIL AS SHOWN ON THE LANDSCAPE PLAN.
17. UPON SITE STABILIZATION (UNIFORM COVERAGE OR DENSITY OF 70% ACROSS ALL DISTURBED AREAS) AND NOTIFICATION OF THE MCO, REMOVE EROSION AND SEDIMENT CONTROL MEASURES INCLUDING SILT FENCING AND INLET PROTECTION. ANY AREA DISTURBED DURING THE REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES SHALL BE STABILIZED IMMEDIATELY.
18. INSTALL SITE SIGNAGE AND STRIPING.
19. DEMOLITIZE.

### MONTGOMERY COUNTY SOIL CONSERVATION DISTRICT STANDARD E&S NOTES

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
9. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCARDED AT THE SITE.
10. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
11. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
12. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
13. VEHICLES AND EQUIPMENT TRAFFIC SHALL BE COORDINATED WITH REALM VALLEY FORGE GREENES ASSOCIATES.
14. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A DAILY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND REINETING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
15. A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
16. SEDIMENT TRACKED OUT ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELLED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
17. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
18. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL. IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
19. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
20. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
21. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
22. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
25. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BANKMENTED ACCORDING TO THE STANDARDS OF THIS PLAN.
26. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS, DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS; THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLIPPING, SLIDING, OR OTHER MOVEMENTS.
28. E&S BMPs SHALL BE REMOVED AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
30. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
31. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
32. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LOADED RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

**THIS PLAN IS FOR SOIL EROSION & SEDIMENT POLLUTION CONTROL PURPOSES ONLY**



REVISIONS				
REV	DATE	COMMENT	BY	DATE
1	4/1/19	PER SELLER COMMENTS	CO	
2	4/26/19	PER TOWNSHIP & SELLER COMMENTS	GB	
3			JW	
4				
5				
6				
7				
8				
9				

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PROJECT NO.:	PP180258
DRAWN BY:	CRO
CHECKED BY:	JPW
DATE:	03/25/2019
SCALE:	AS NOTED
CAD I.D.:	PP180258DETAILS-2

PROJECT:  
**PRELIMINARY / FINAL  
LAND DEVELOPMENT  
PLANS**  
  
FOR  
**VALLEY FORGE STORAGE  
VENTURES, L.L.C.**

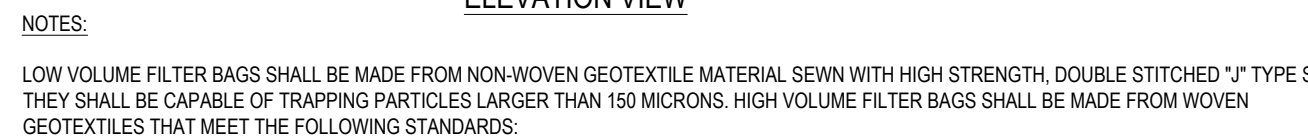
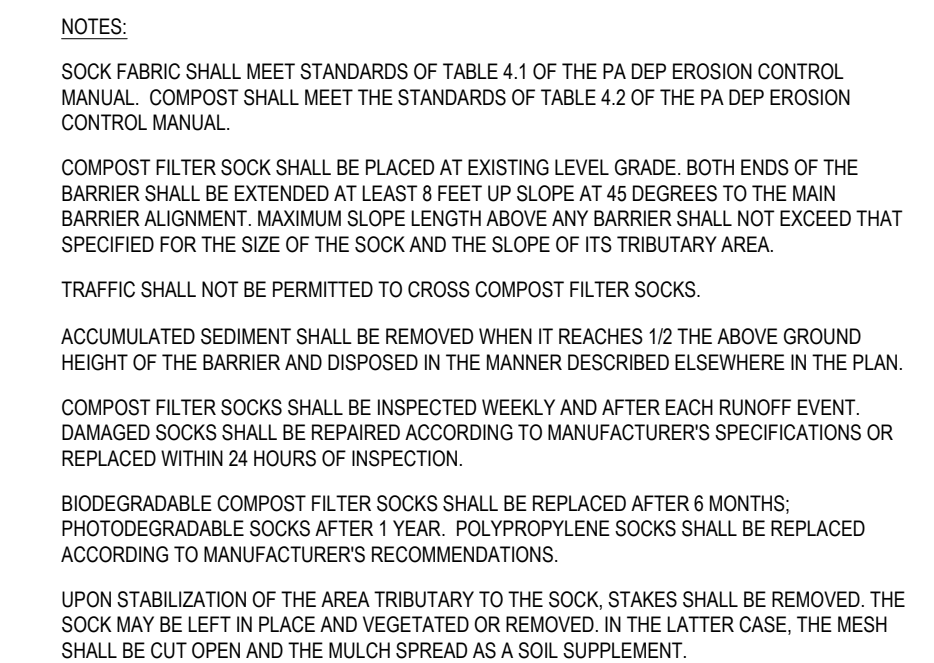
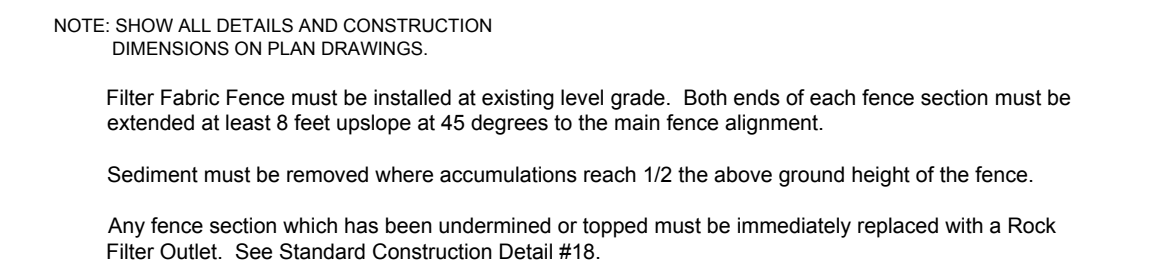
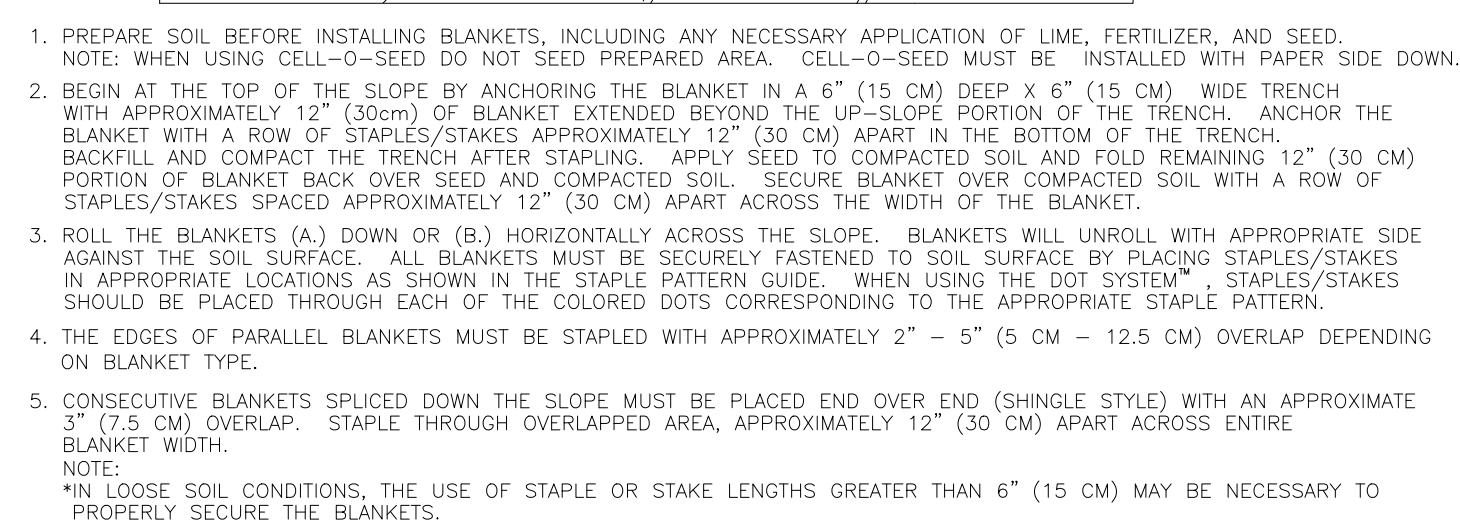
EMS/SELF STORAGE  
  
400 GUTHRIE ROAD  
KING OF PRUSSIA  
UPPER MERION TOWNSHIP  
MONTGOMERY COUNTY, PA

**BOHLER  
ENGINEERING**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
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**C. BROWN**  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. PEO76517  
DELAWARE LICENSE NO. 18093  
NEW JERSEY LICENSE NO. 24GE05041400

SHEET TITLE:  
**SOIL EROSION &  
SEDIMENT  
POLLUTION  
CONTROL NOTES**  
SHEET NUMBER:  
**C-009**  
OF 17  
REVISION 2





PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED. ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BY THE INSTALLER IN ALL WATERSHEDS, EXCEPT FOR WATERSHEDS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

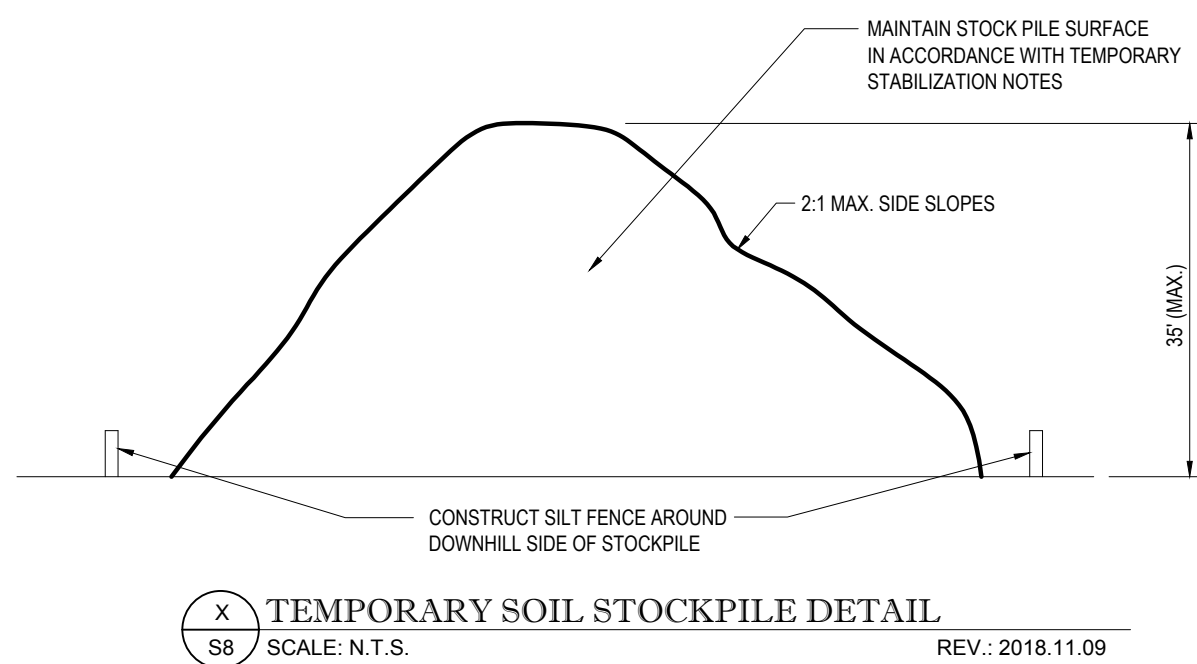
THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

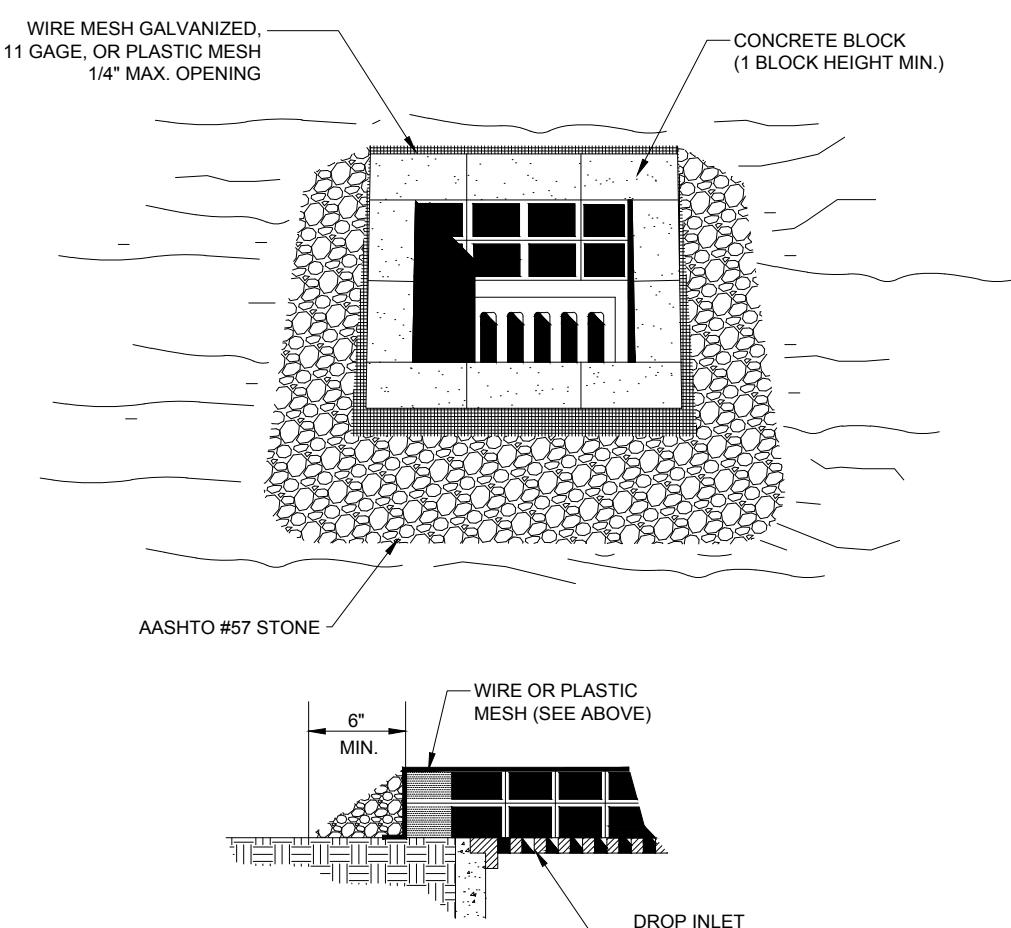
FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

### STANDARD CONSTRUCTION DETAIL #3-16

NOT TO SCALE



**STANDARD CONSTRUCTION DETAIL #29**  
**Stone & Concrete Block Inlet Protection**  
**Channel or Roadside Swale**



Maximum Drainage Area = 1 acre

Inlet protection is not required for inlet tributary to sediment basin or trap. Berms required for all installations.

Earthen berm in roadway shall be maintained until roadway is stoned. Road subbase berm on roadway shall be maintained until roadway is paved. Earthen berm in channel shall be maintained until permanent stabilization is completed or to remain permanently.

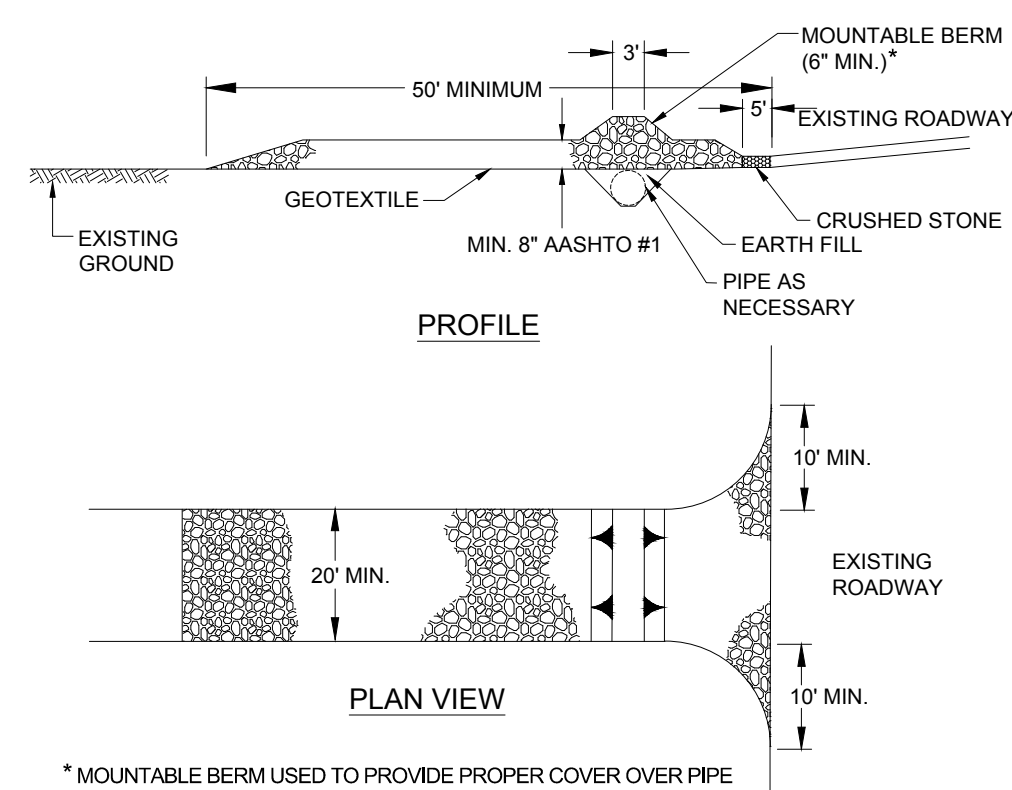
**DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS**

STANDARD CONSTRUCTION DETAIL #4-1  
COMPOST FILTER SOCK

NOT TO SCALE

IN THE EVENT STAKING IS NOT POSSIBLE, I.E., WHEN SEDIMENT CONTROL IS USED ON PAVEMENT, HEAVY CONCRETE BLOCKS SHALL BE USED BEHIND THE SEDIMENT CONTROL TO HELP STABILIZE DURING RAINFALL/RUNOFF EVENTS.

### STANDARD CONSTRUCTION DETAIL #3-1 Rock Construction Entrance



\* MOUNTABLE BERM USED TO PROVIDE PROPER COVER OVER PIPE

NOTES:  
REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FEET INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INST. WASH ROCK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**THIS PLAN IS FOR SOIL EROSION &  
SEDIMENT POLLUTION CONTROL  
PURPOSES ONLY**

REVISIONS			
REV	DATE	COMMENT	DRAWN BY CHECKED BY
1	4/1/19	PER SELLER COMMENTS	CO JW
2	4/26/19	PER TOWNSHIP & SELLER COMMENTS	GB JW
3	.	.	.
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PROJECT No.:	PP180258
DRAWN BY:	CR
CHECKED BY:	JP
DATE:	03/25/20
SCALE:	AS NOTE
CAD I.D.:	PP180258DETAILS

PROJECT:  
PRELIMINARY / FINAL  
LAND DEVELOPMENT  
PLANS

FOR  
VALLEY FORGE STORAGE  
VENTURES, L.L.C.

## EMS/SELF STORAGE

400 GUTHRIE ROAD  
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PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE No. PE075317  
DELAWARE LICENSE No. 18093  
NEW JERSEY LICENSE No. 24GE05041400

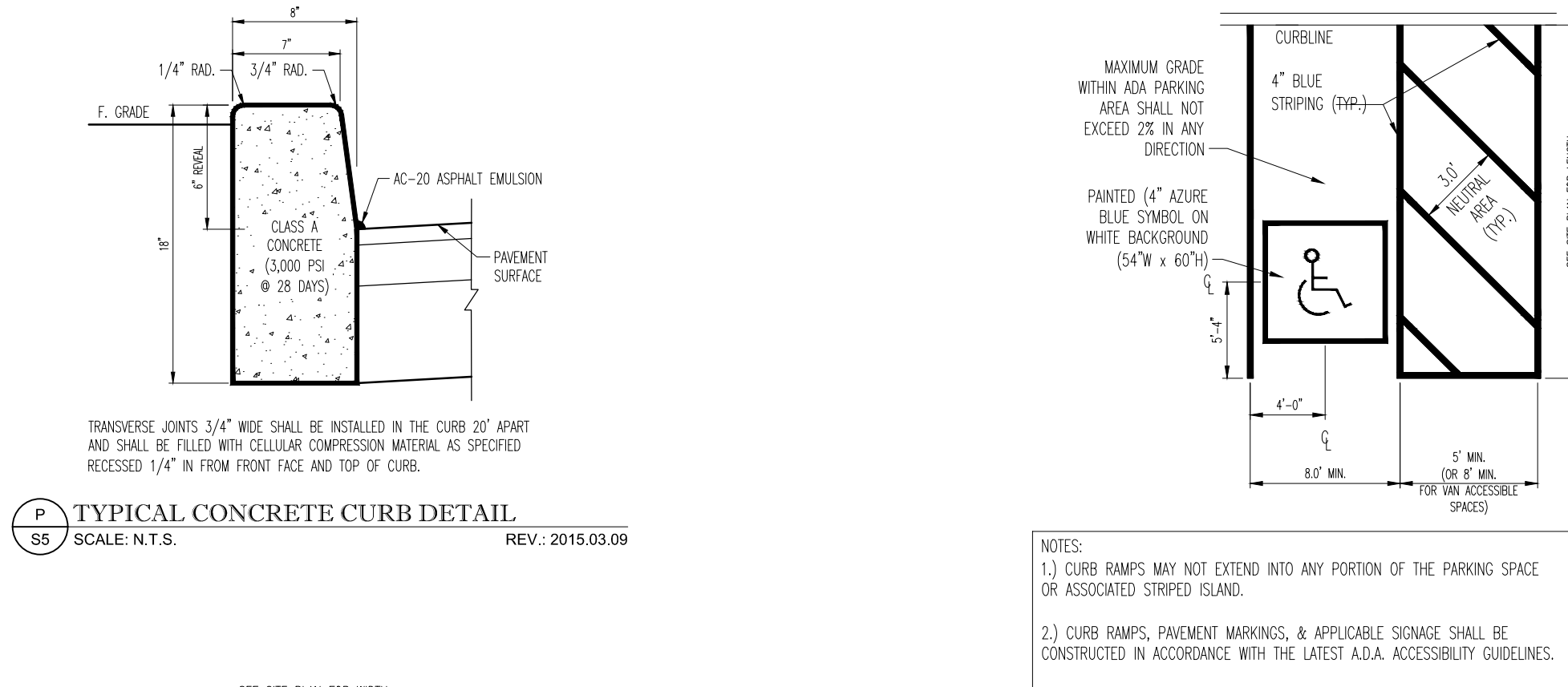
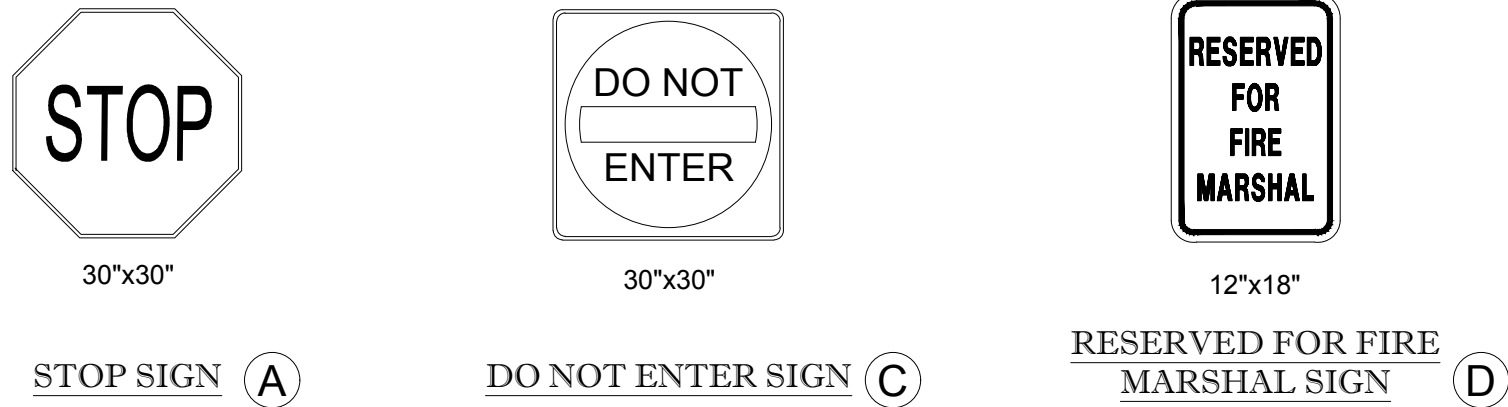
SHEET TITLE:

SOIL EROSION &  
SEDIMENT  
POLLUTION  
CONTROL DETAIL

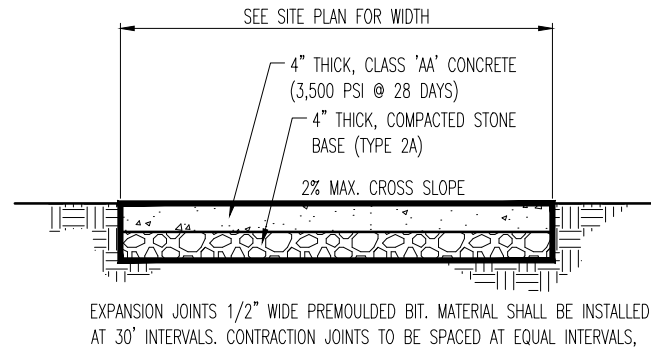
C-010  
OF 17

REVISION 2

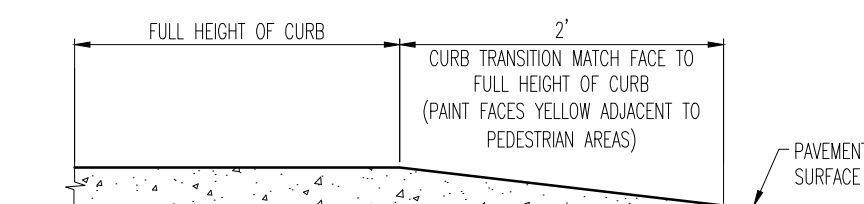




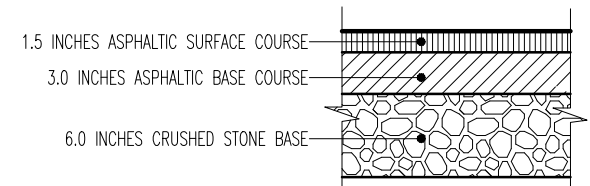
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SCALE: N.T.S. REV: 2015.03.09



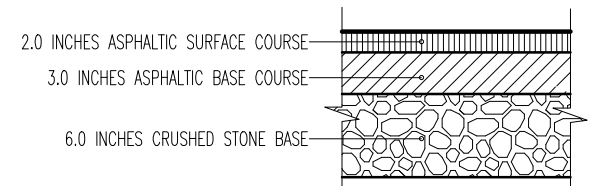
CONCRETE SIDEWALK DETAIL  
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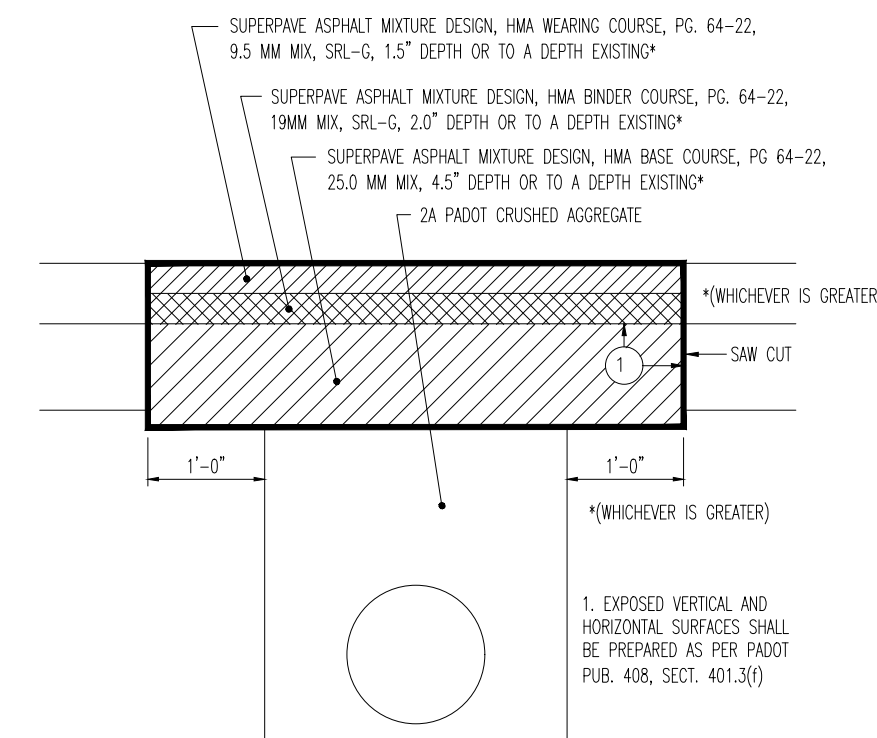
TAPERED CURB DETAIL  
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STANDARD ASPHALT PAVEMENT DETAIL  
SCALE: N.T.S. REV: 2018.09.20

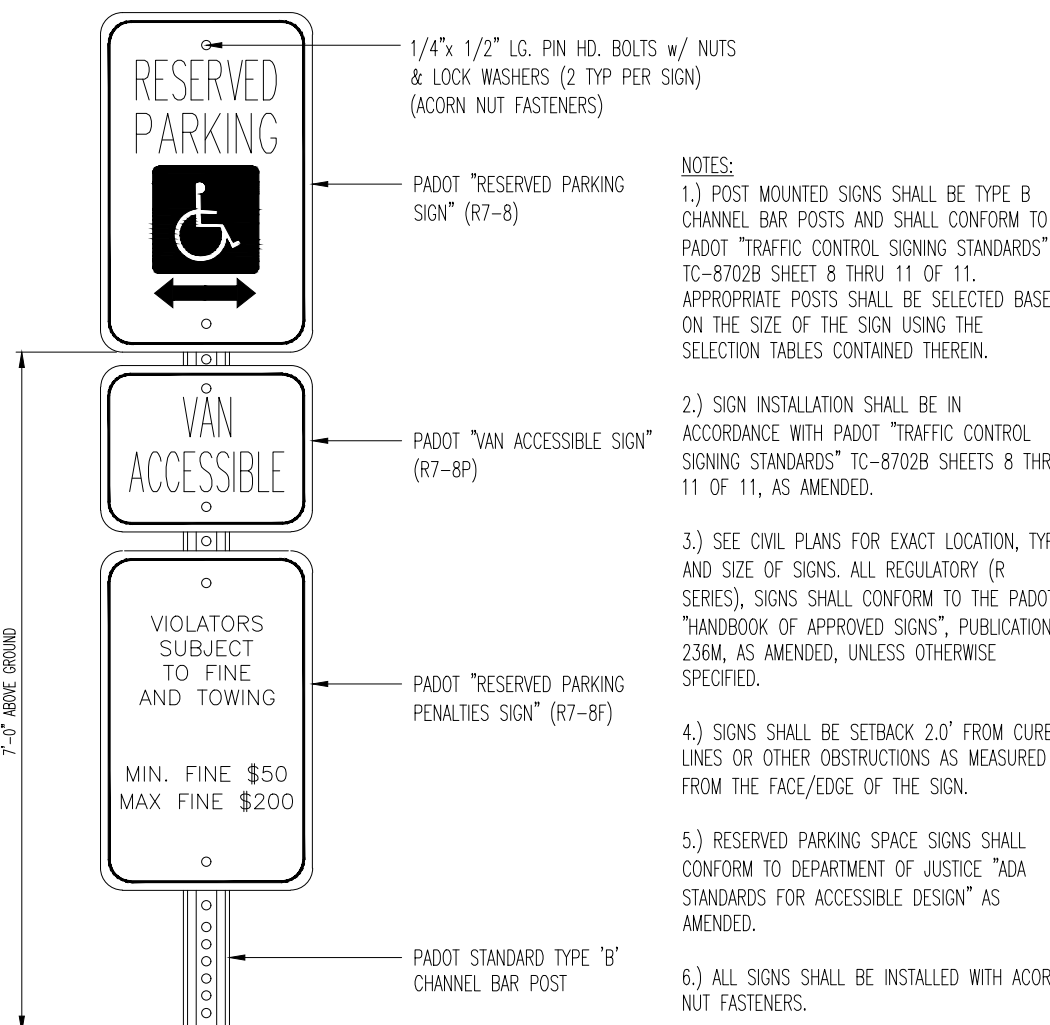


HEAVY DUTY ASPHALT PAVEMENT DETAIL  
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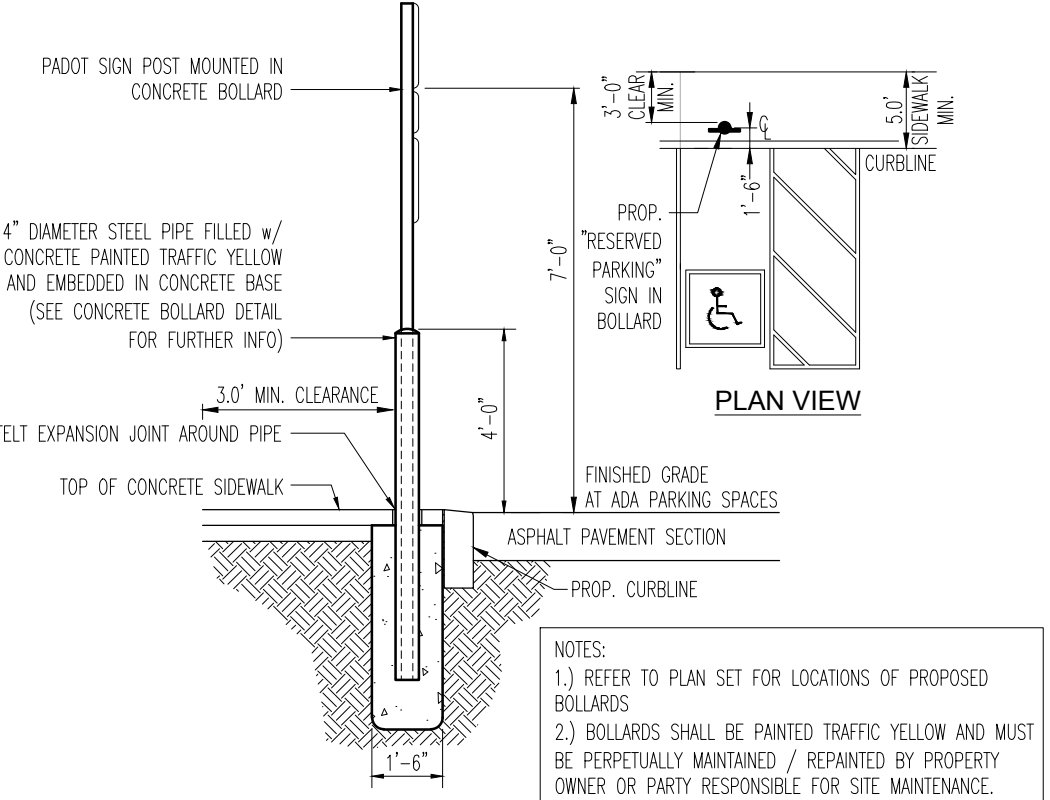


FLEXIBLE PAVEMENT RESTORATION  
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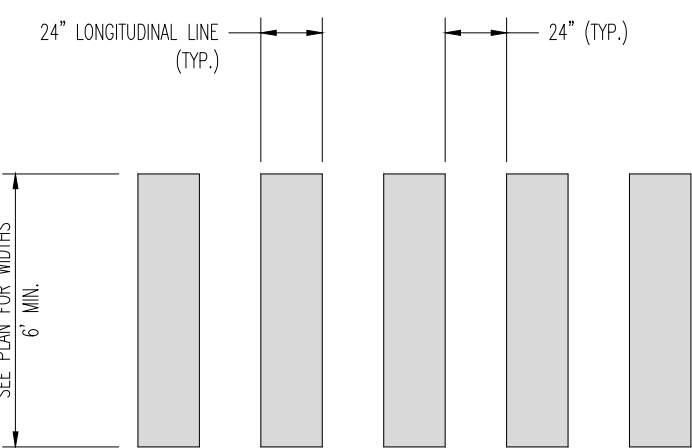
ADA ACCESSIBLE PARKING SPACE STRIPING (1 SPACE)  
SCALE: N.T.S. REV: 2016.05.31



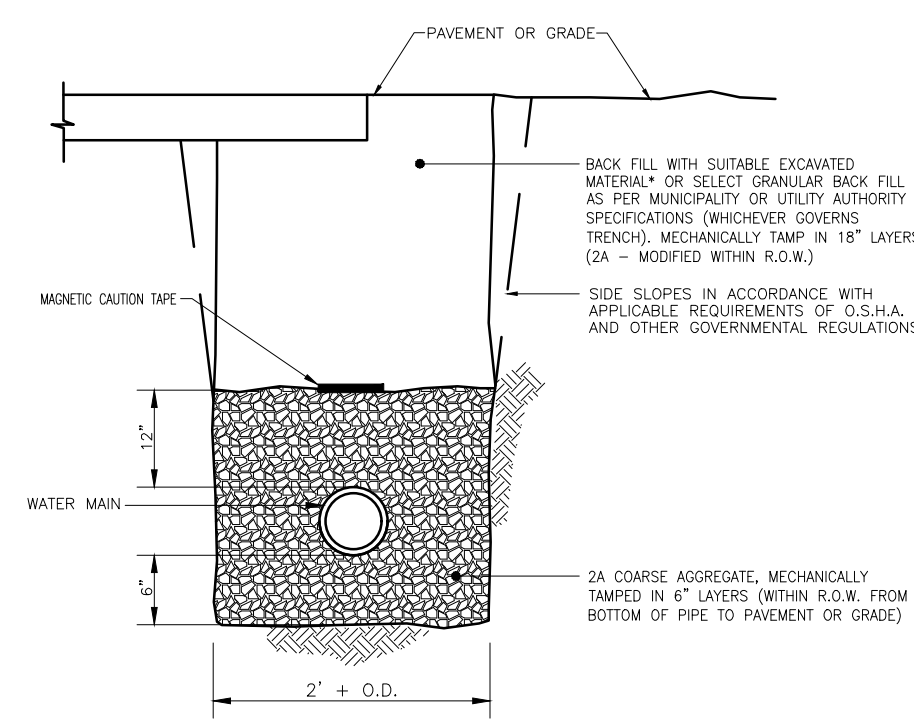
RESERVE PARKING SPACE w/ PENALTIES & VAN ACCESSIBLE SIGNS  
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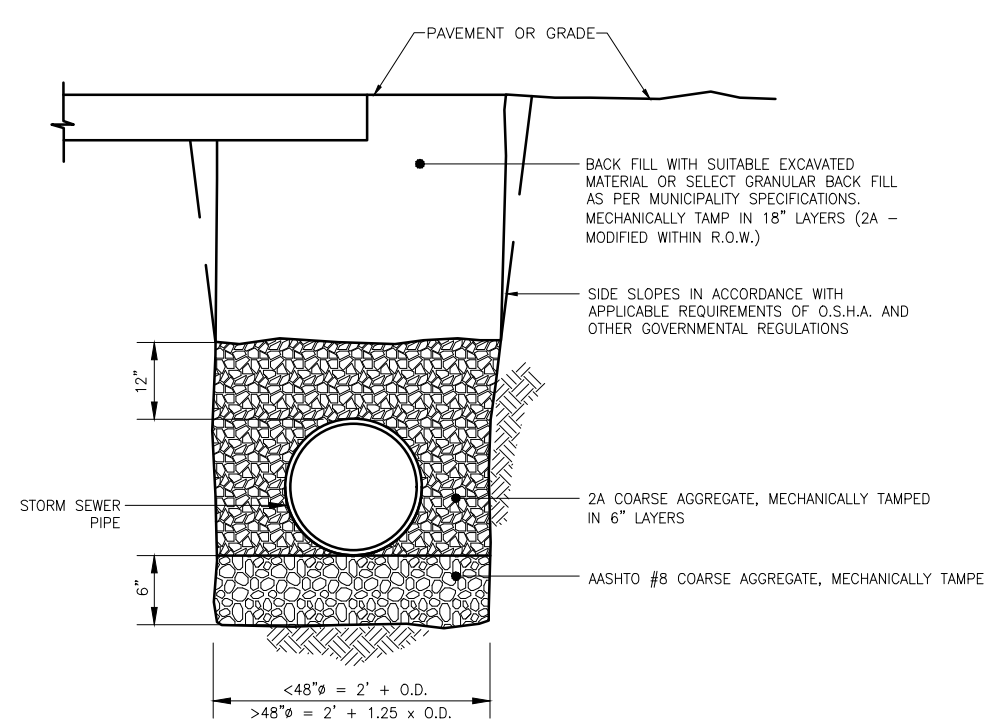
"RESERVED PARKING" SIGN WITHIN BOLLARD DETAIL  
SCALE: N.T.S. REV: 2016.01.05



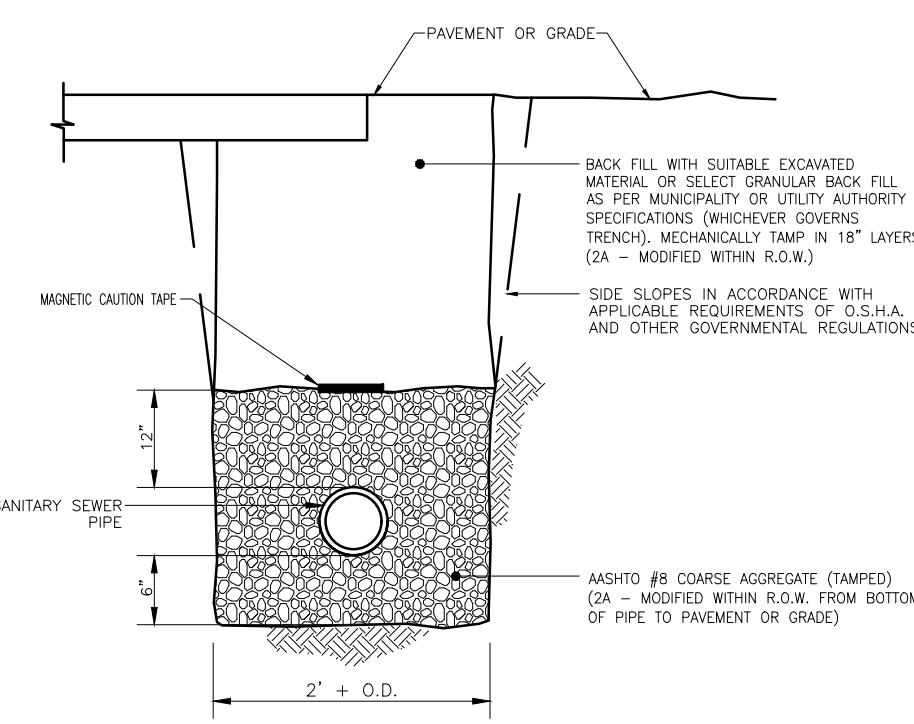
PEDESTRIAN CROSSWALK DETAIL  
SCALE: N.T.S. REV: 2019.03.27



TRENCH BEDDING CLASSIFICATION (WATER MAIN)  
SCALE: N.T.S. REV: 2015.03.09



TRENCH BEDDING CLASSIFICATION (STORM)  
SCALE: N.T.S. REV: 2015.03.09



TRENCH BEDDING CLASSIFICATION (SANITARY MAIN)  
SCALE: N.T.S. REV: 2015.03.09

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## OIL INTERCEPTORS

### LARGE CAPACITY - STEEL OIL INTERCEPTORS

FUNCTION: Large capacity oil interceptors are used in large garages, service areas and industrial plants where waste laden with oil and sediment must be intercepted. The intercepted oils are drawn off by gravity to a storage tank or container. Any sediment which is included in the discharge is collected in a large sediment bucket and periodically removed. Interceptors should not be located directly in traffic areas. If required, specify extra heavy duty traffic cover.

NOTE: Interceptor shall be vented on outlet side per local code requirements.

NOTE: It is the responsibility of the installer to verify they are in their proper operating order and location.

PCN No.	GPM Rate	Inlet and Outlet Size	Dimensions										C.O. Pipe Size	Draw-Off
			Roughing Dimensions			Body				Dimensions				
A'	B	C	D	E	F	G	J	K	L	M	P			
8560 75	54(100)	21 1/2(545)	15 1/2(396)	50 3/4(1290)	37(94)	30 1/2(775)	37(94)	21(535)	28 1/4(720)	13(330)	32 3/4(830)	2(51)		
8565 100	54(100)	27(685)	16 1/2(412)	54 3/4(1393)	43 1/2(1105)	33 1/2(858)	37(94)	23(585)	30 1/4(767)	18 1/2(470)	39 1/4(990)	2(51)		
8570 150	85(125)	33(840)	17 1/2(545)	60 3/4(1543)	50 1/2(1283)	38 1/2(980)	41(100)	25 1/2(650)	34 1/8(870)	23 1/2(595)	46 1/4(1175)	2 1/2(64)		
8575 200	85(125)	37(940)	17 1/2(545)	67 3/4(1720)	54 1/2(1385)	43 1/2(1105)	41(100)	29(735)	38 1/8(970)	27 1/2(700)	50 1/4(1275)	2 1/2(64)		
8580 250	85(125)	40(1015)	18(455)	73 3/4(1875)	58 1/4(1473)	47 1/2(1205)	41(100)	32(815)	42 1/4(1075)	30 1/2(775)	53 3/4(1365)	2 1/2(64)		
8585 300	105(125)	43 1/2(1105)	18(455)	85 3/4(2170)	61 1/2(1562)	54 1/2(1385)	41(100)	36(945)	50 1/4(1275)	34(865)	57 1/4(1455)	2 1/2(64)		
8590 500	165(150)	48(1220)	18(455)	103 1/4(2623)	66(1615)	64 1/2(1640)	51(125)	46(1170)	62 1/4(1580)	38(965)	61 3/4(1570)	2 1/2(64)		

REGULARLY FURNISHED: Steel Interceptor with Gray Duco Coating Inside and Outside and Flow Control Fitting.

VARIATIONS: Anchor Flange -F, Flange and Flashing Clamp -F-C, Integral Extension -E (Specify Height eg. -E12 for 12"(305) Ext.), NO-HUB Adaptor (4) Req'd (Specify Fig. 2646Y), Traffic Rated Cover-H20.

OPTIONAL MATERIALS: Acid Resistant Coating Inside - ARI, Acid Resistant Coating Outside - ARO, Acid Resistant Coating Inside and Outside - ARIO, Aluminum Cover -AC, Coal Tar Epoxy Outside -CTO.

NOTE: Dimensions shown in parentheses are in millimeters.

FIGURE NUMBER 8560

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REVISIONS				
REV	DATE	COMMENT	DESIGNED BY	CHECKED BY
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PROJECT No.: PP180258  
DRAWN BY: CRO  
CHECKED BY: JPW  
DATE: 03/25/2019  
SCALE: AS NOTED  
CAD I.D.: PP180258DETAILS-2

PRELIMINARY / FINAL LAND DEVELOPMENT PLANS

FOR VALLEY FORGE STORAGE VENTURES, L.L.C.

EMS/SELF STORAGE

400 GUTHRIE ROAD  
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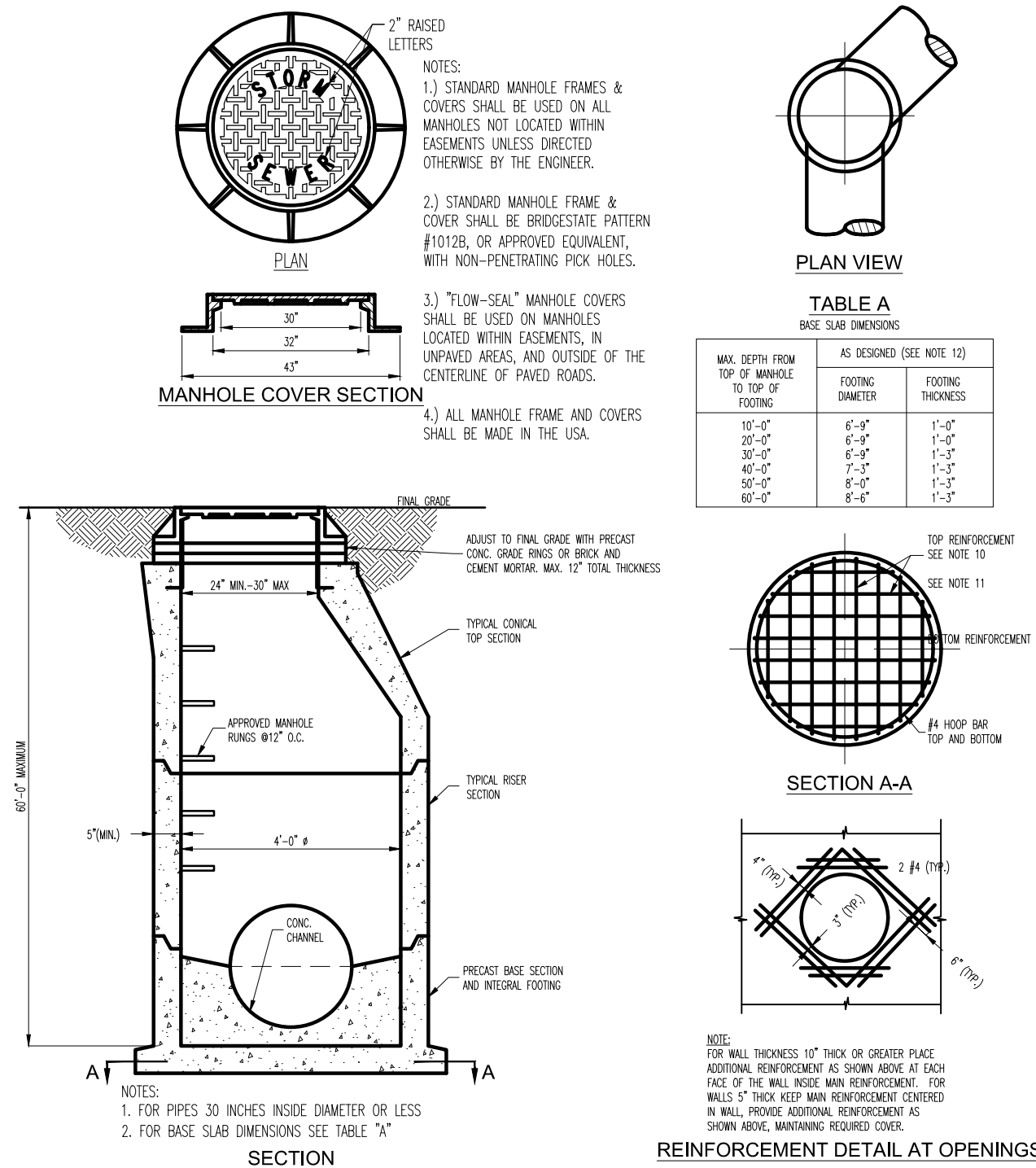
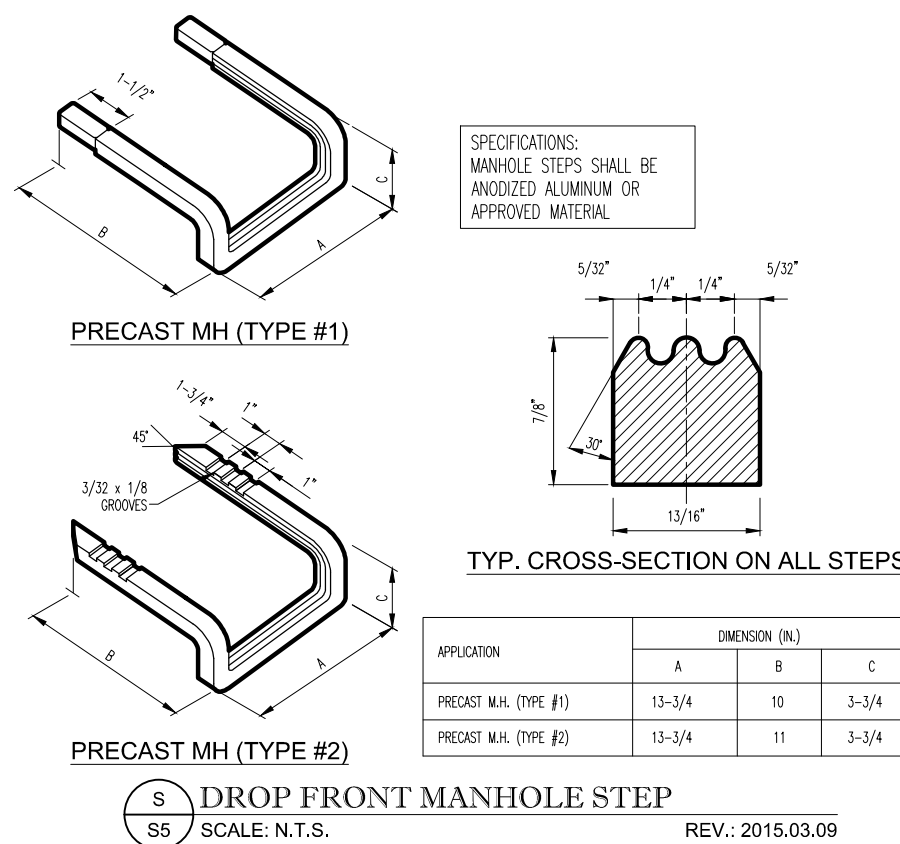
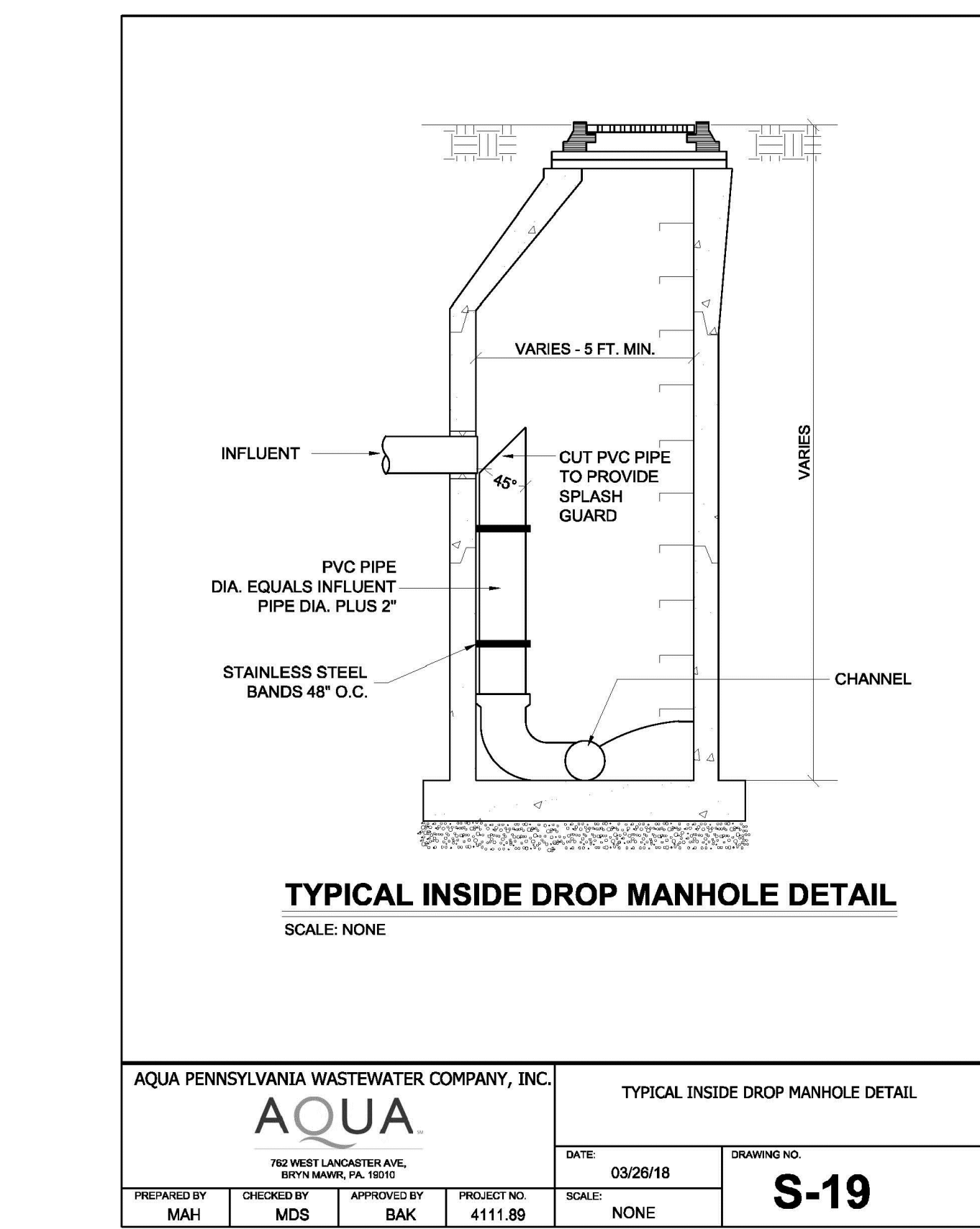
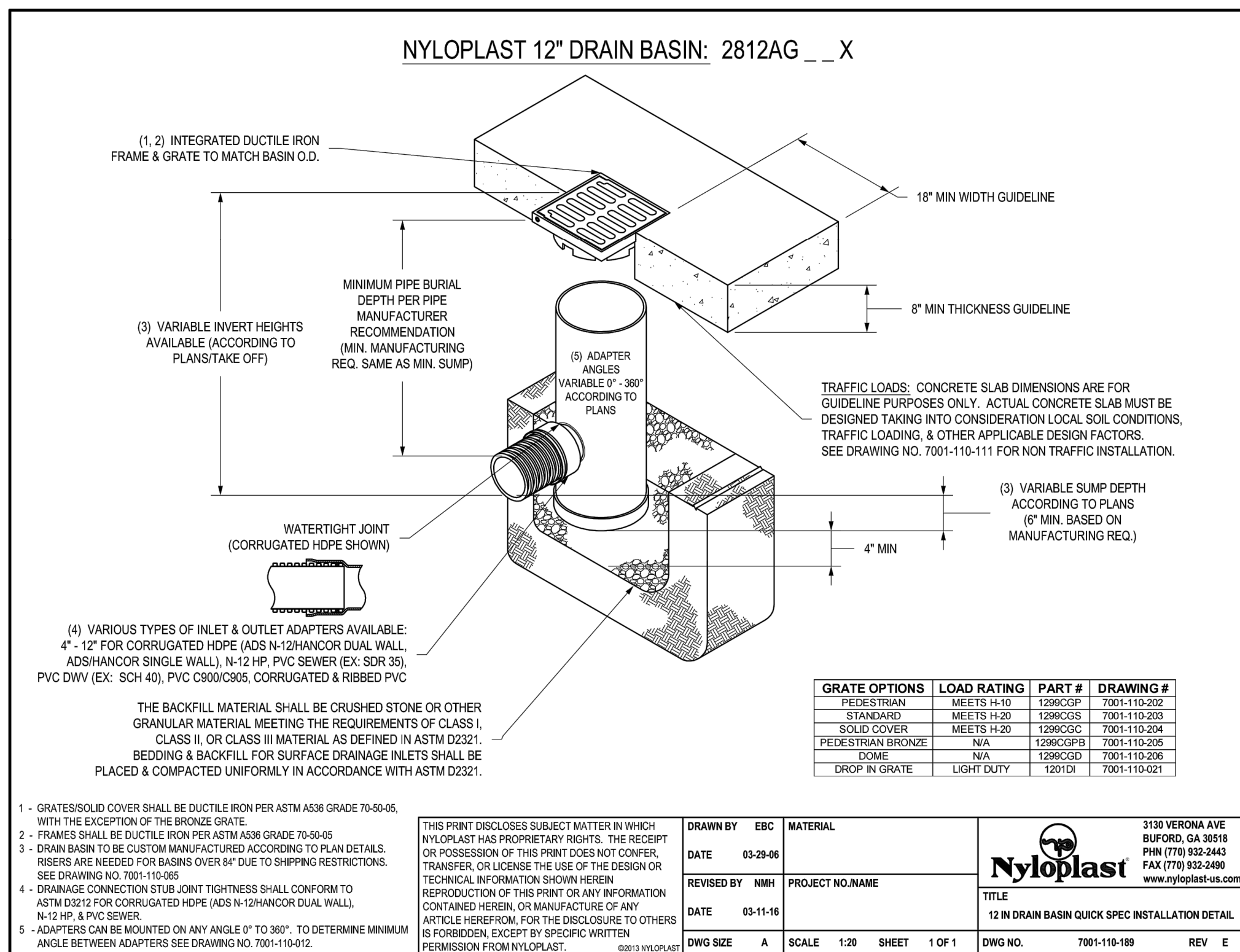
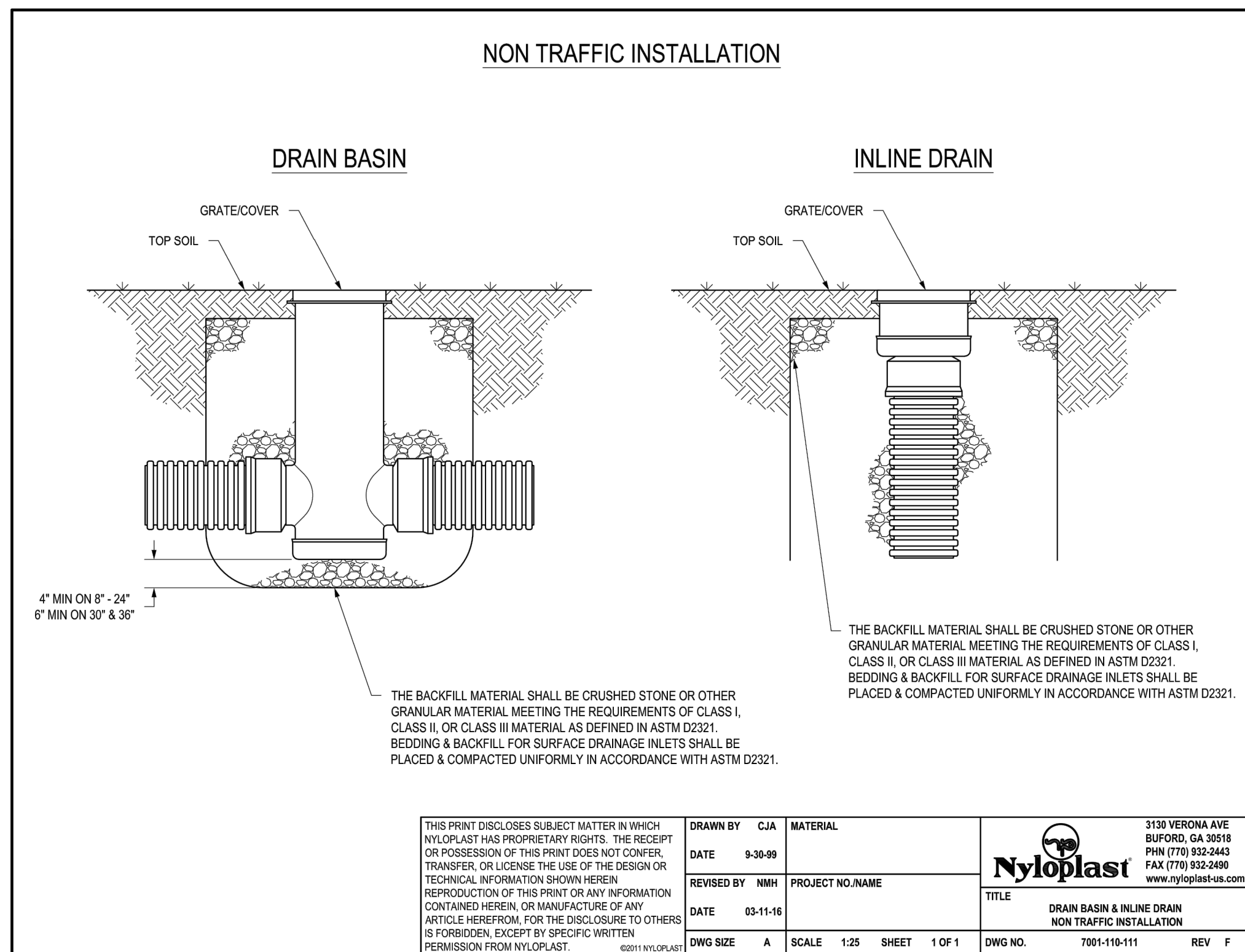
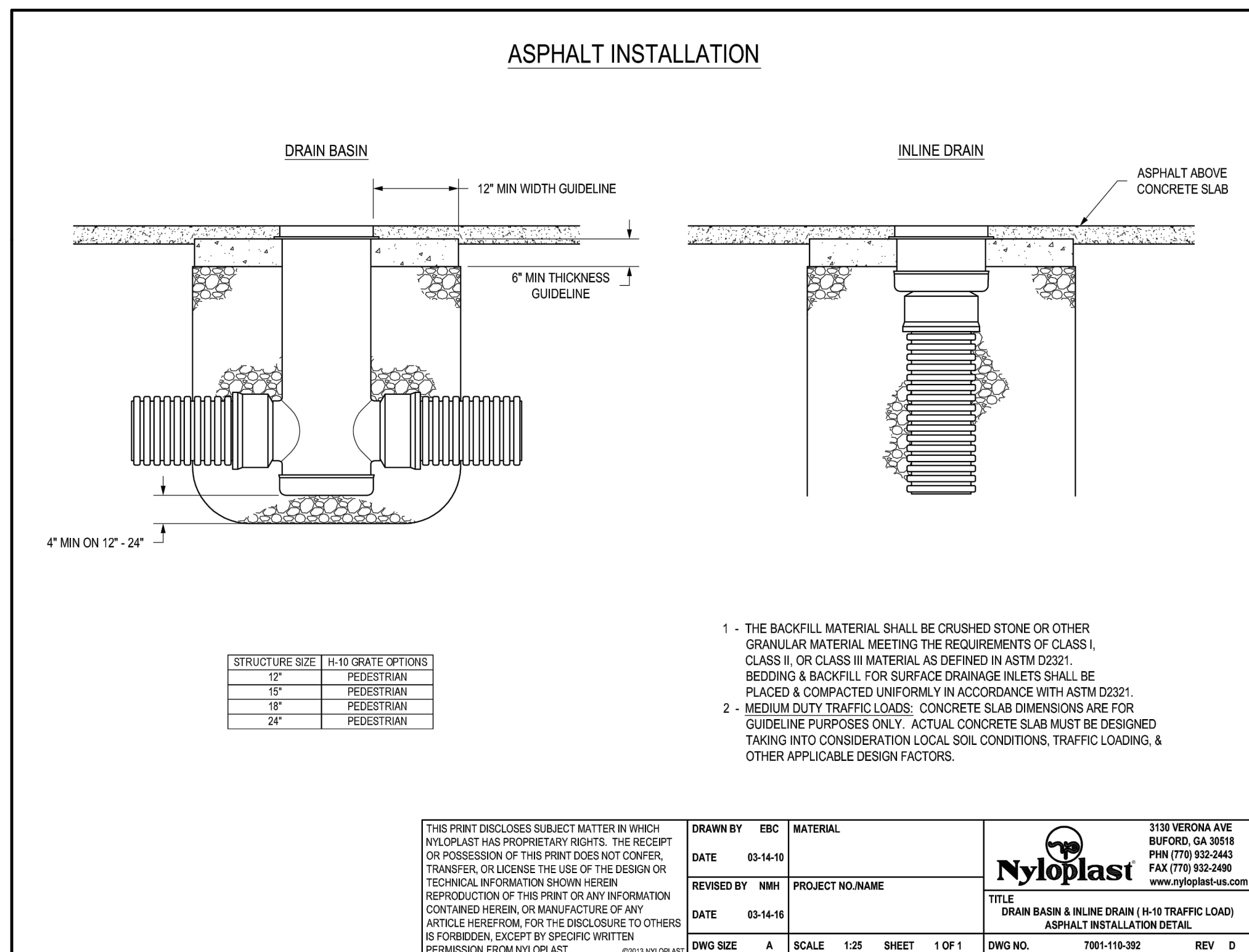
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SHEET TITLE: DETAILS

SHEET NUMBER: C-011 OF 17

REVISION 2





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SCALE: AS NOTED  
CAD I.D.: PP180258DETAILS-2

PROJECT:  
PRELIMINARY / FINAL  
LAND DEVELOPMENT  
PLANS

FOR  
VALLEY FORGE STORAGE  
VENTURES, L.L.C.

EMS/SELF STORAGE  
400 GUTHRIE ROAD  
KING OF PRUSSIA  
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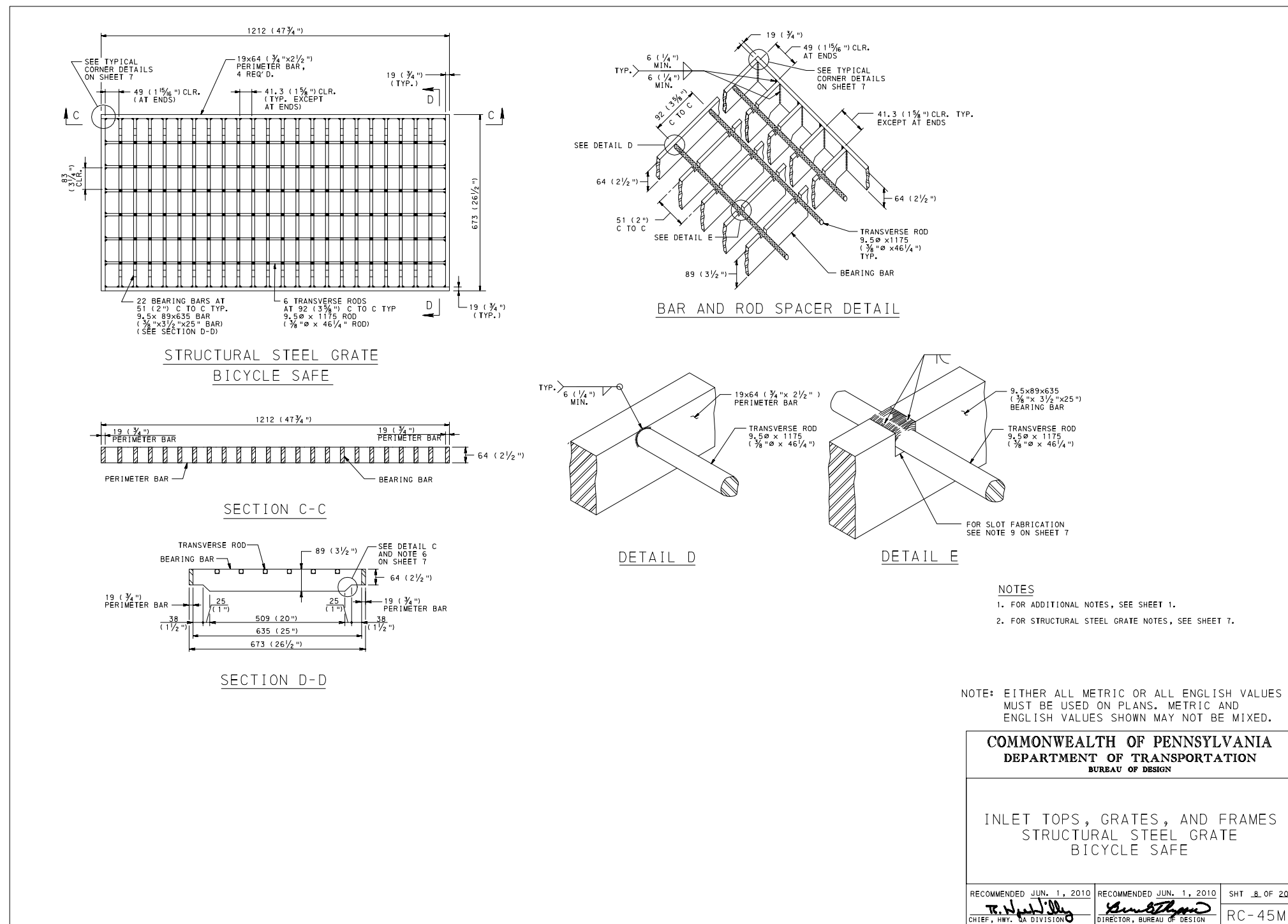
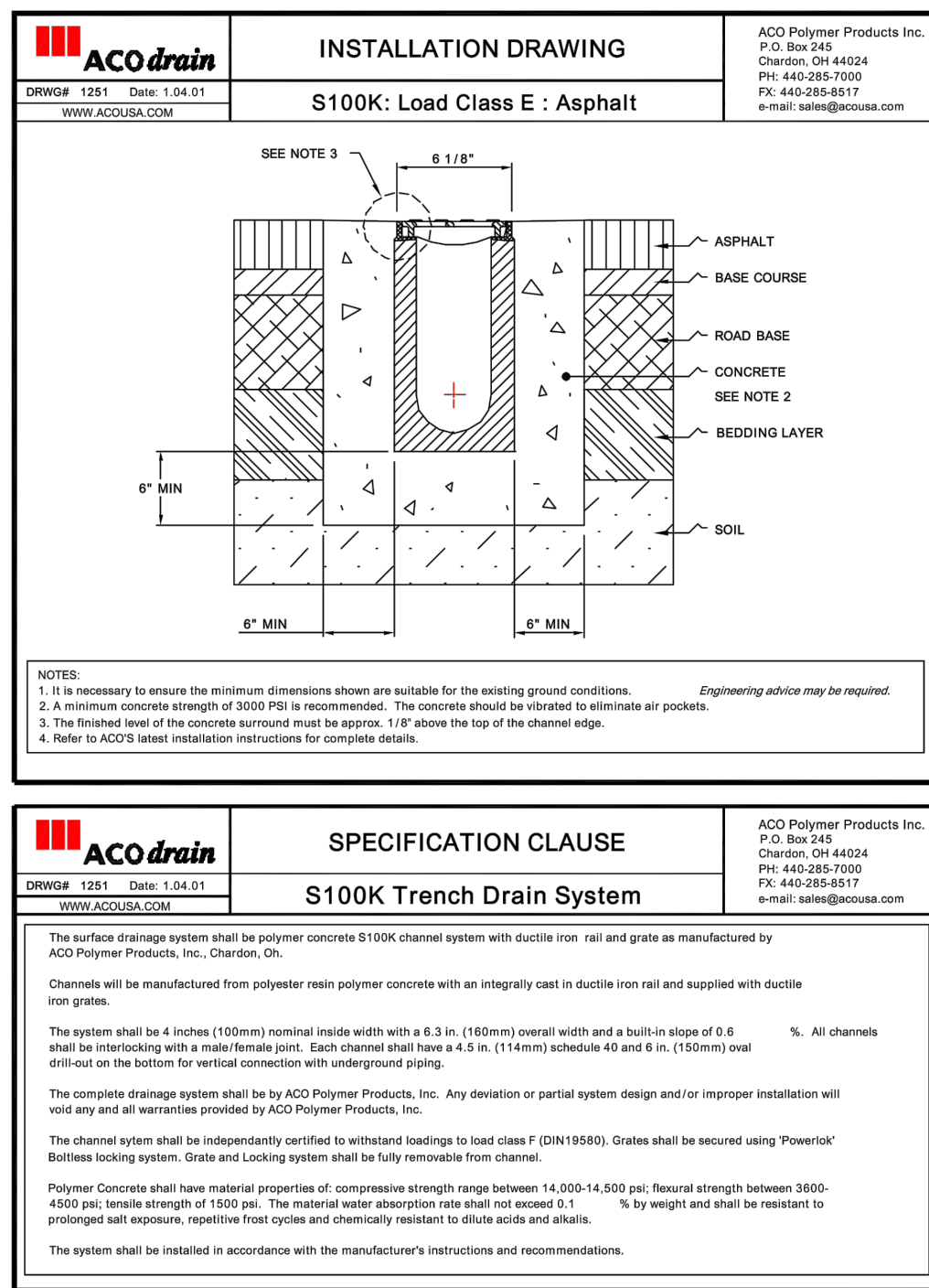
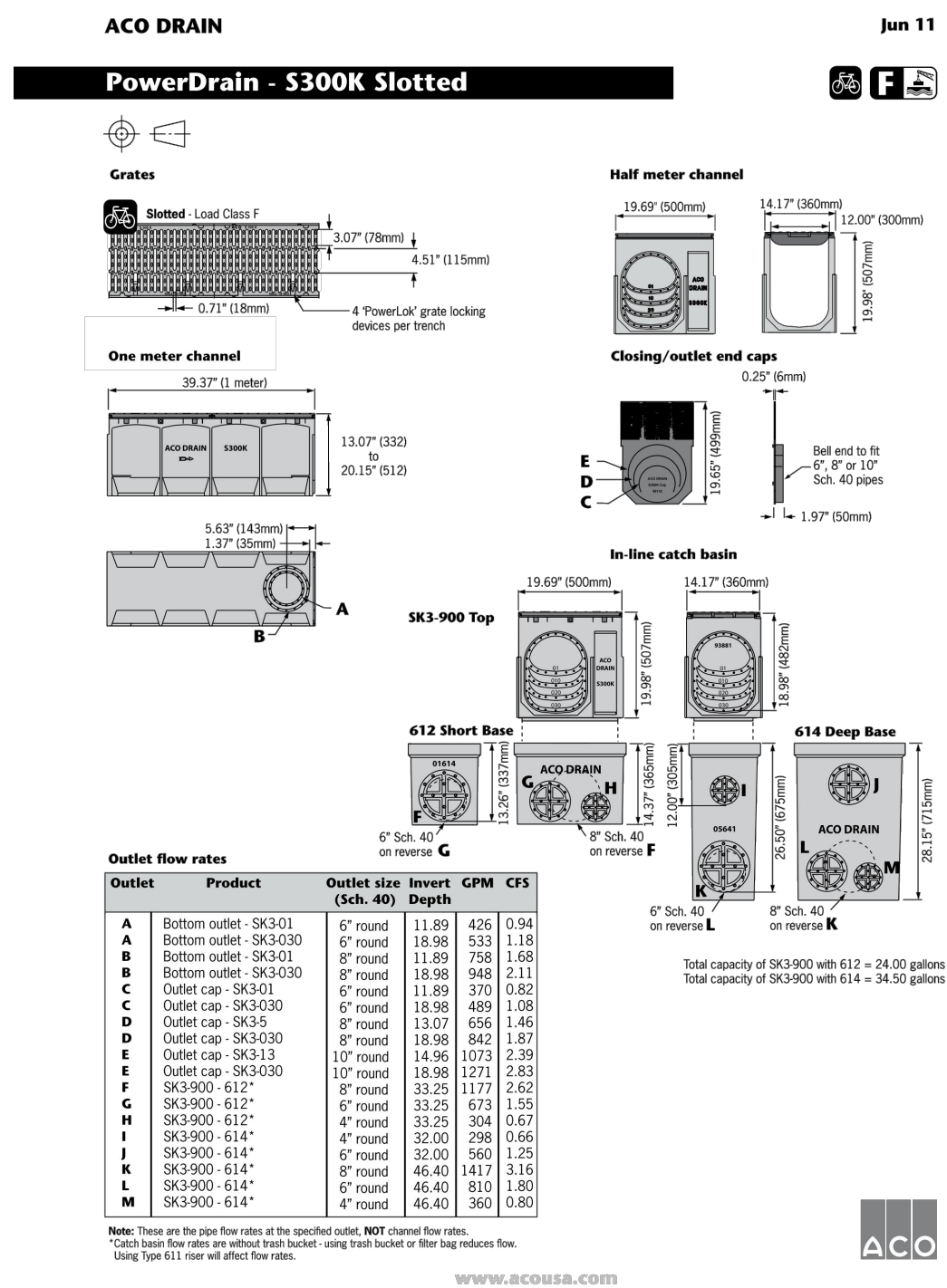
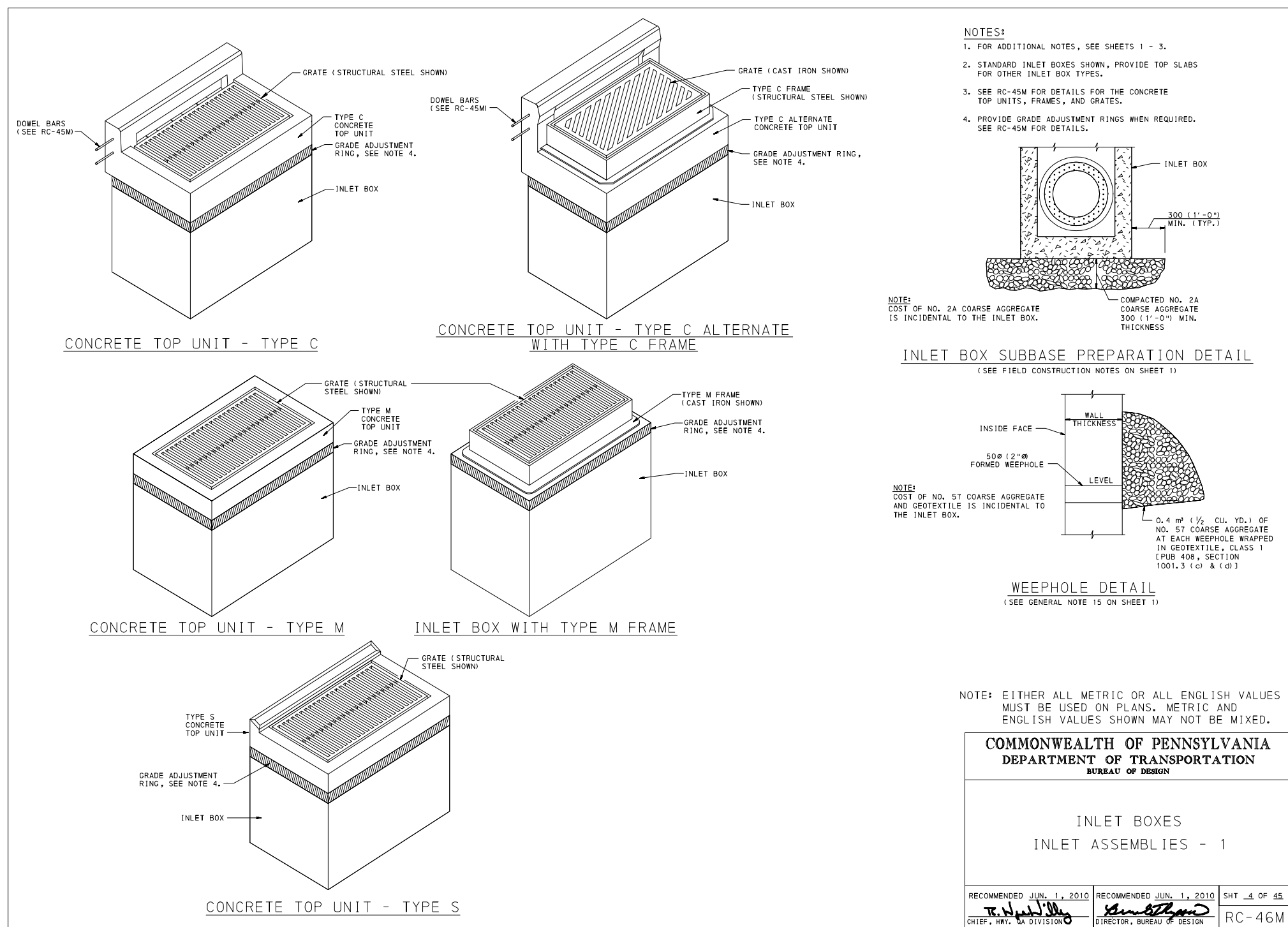
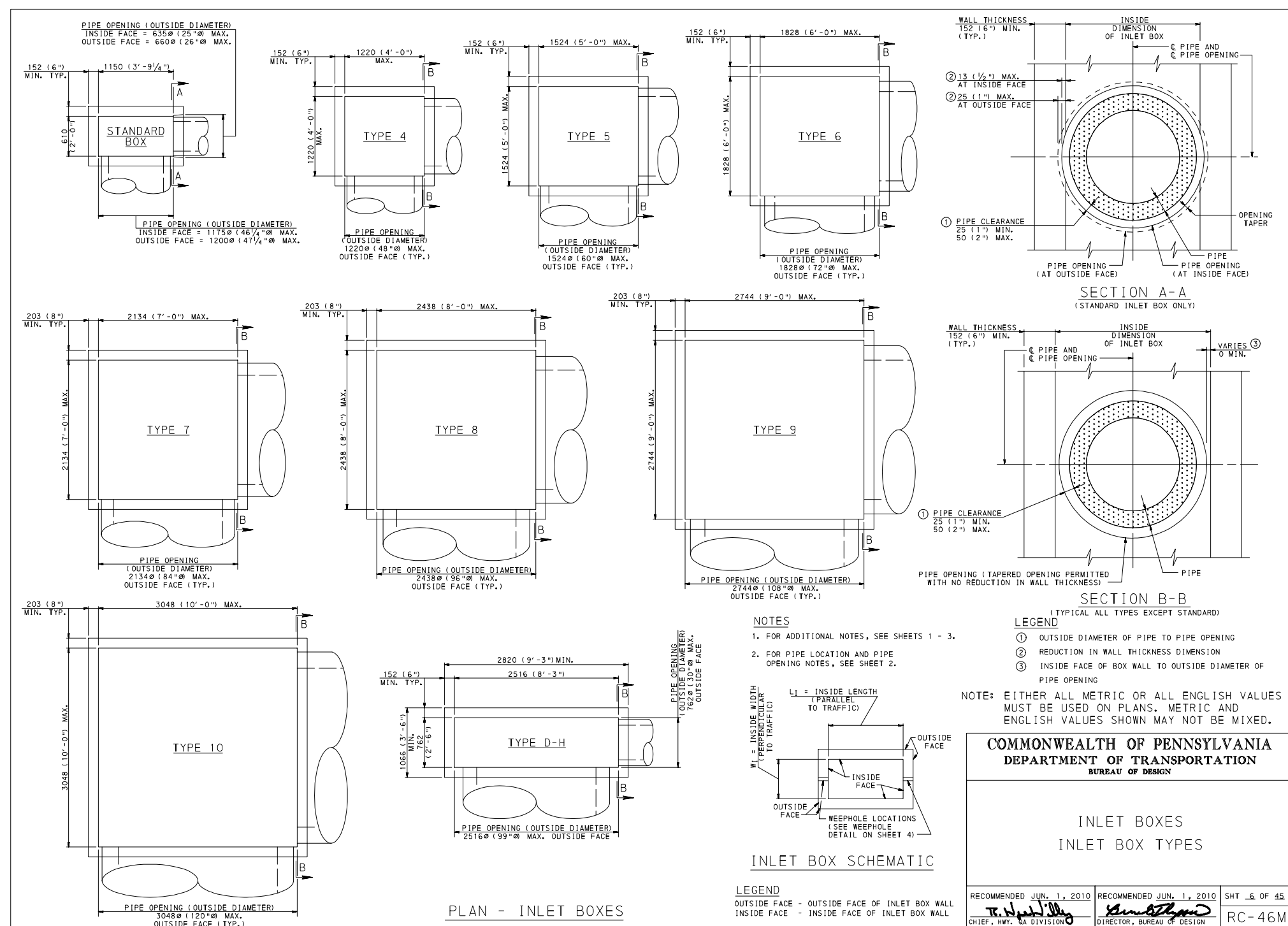
SHEET TITLE:  
**DETAILS**

SHEET NUMBER:  
**C-012**

OF 17

REVISION 2





## LIST OF APPLICABLE PADOT DETAILS

SIGNAGE: PADOT, PUBLICATION 236

ADDITIONAL DETAILS ASSOCIATED WITH PADOT ROAD IMPROVEMENTS ARE ON THE FOLLOWING STANDARD DETAILS FROM PennDOT PUBLICATION 72M:  
(THE PERMITTEE IS REQUIRED TO PROVIDE THE CONTRACTOR WITH COPIES OF THE MOST CURRENT APPLICABLE RC DRAWINGS FROM THE PennDOT PUBLICATION 72M)

STANDARD DRAWING NUMBER	ITEM	DRAWING DATE
RC - 30M	SUBSURFACE DRAINS	JUNE 1, 2010
RC - 39M	STORM WATER MANHOLES	SEPT 15, 2016
RC - 45M	INLET TOPS, GRATES, AND FRAMES	SEPT 15, 2016
RC - 46M	INLET BOXES	SEPT. 15, 2016
RC - 64M	CURBS AND GUTTERS	JUNE 1, 2010
RC - 67M	CURB RAMPS AND SIDEWALKS	JUNE 10, 2013



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400 GUTHRIE ROAD  
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PENNSYLVANIA LICENSE No. PE075317  
DELAWARE LICENSE No. 18093  
NEW JERSEY LICENSE No. 24GE05041400

SHEET TITLE:

DETAILS

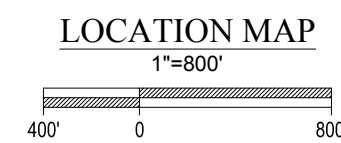
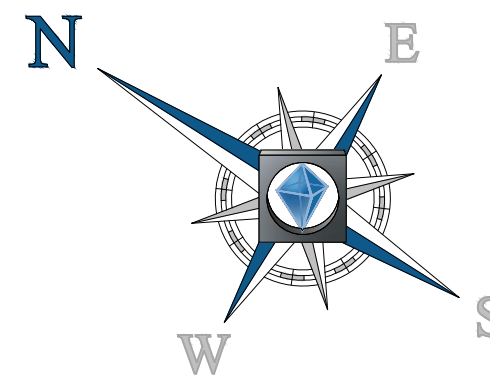
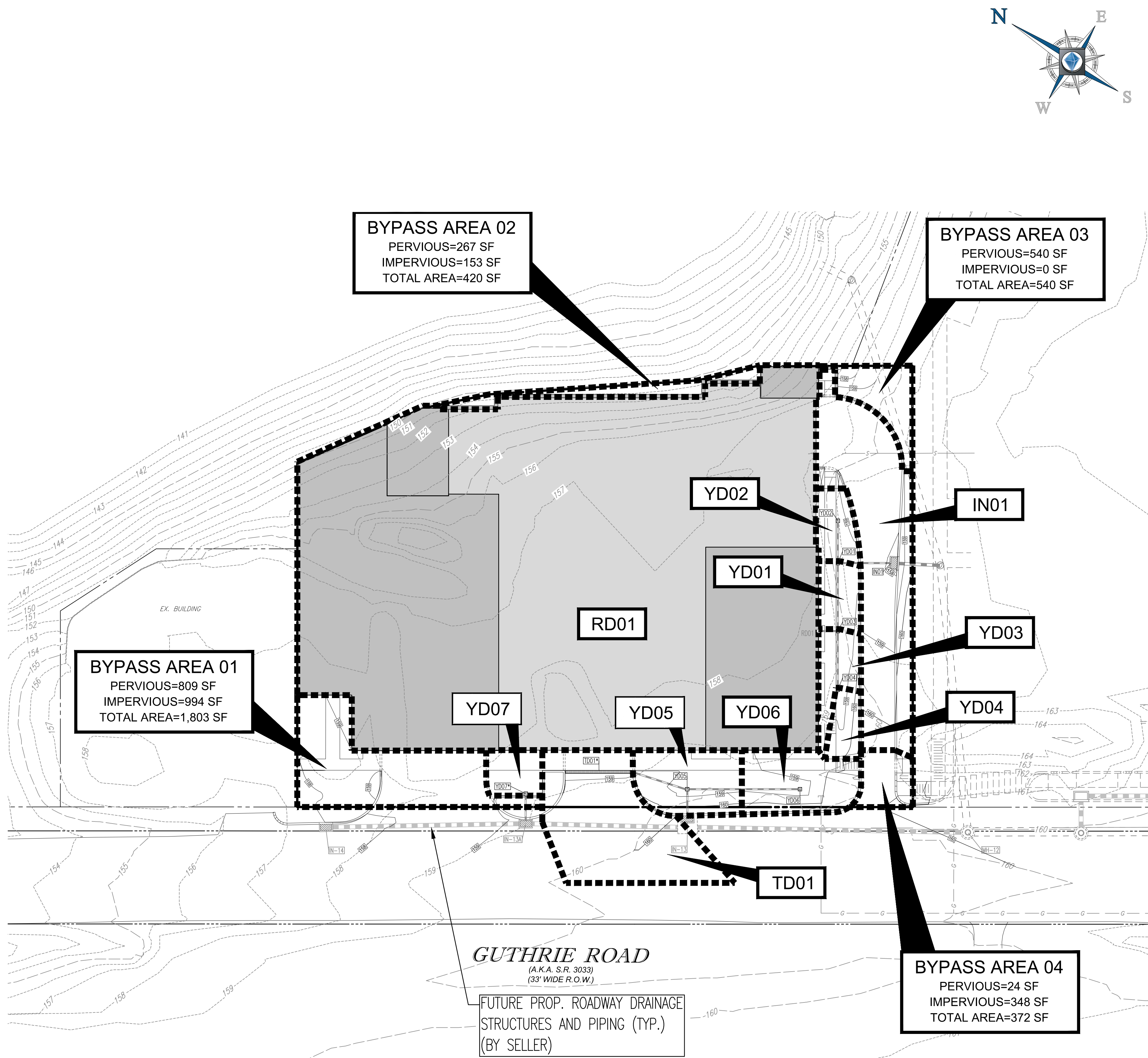
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C-013  
OF 17

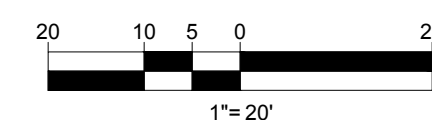
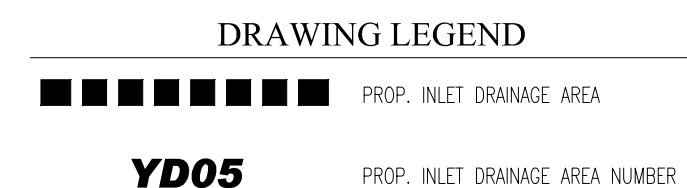
REVISION 2



R:\18\PP180258\DRAWINGS\PLAN SETS\LAND DEVELOPMENT\REVISION 2 (WORKING)\PP180258BASE-2---LAYOUT C-014-INLET.DA



INLET DRAINAGE AREA TABLE					
INLET	INLET AREA (AC)	C	LOCAL RATIONAL FLOW (CFS)	LOCAL Tc (MIN.)	LOCAL INTENSITY (IN/HR)
IN01	0.06	0.83	0.51	5.00	8.25
IN13	0.05	0.63	0.24	5.00	8.25
IN-13A	0.05	0.79	0.30	5.00	8.25
IN-14	0.06	0.74	0.51	5.00	8.25
RD01	0.51	0.95	4.03	5.00	8.25
TD01	0.05	0.93	0.39	5.00	8.25
YD01	0.01	0.55	0.05	5.00	8.25
YD02	0.01	0.56	0.05	5.00	8.25
YD03	0.01	0.59	0.05	5.00	8.25
YD04	0.01	0.52	0.04	5.00	8.25
YD05	0.02	0.57	0.09	5.00	8.25
YD06	0.02	0.54	0.09	5.00	8.25
YD07	0.01	0.95	0.08	5.00	8.25



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DRAWN BY: CRO  
CHECKED BY: JPW  
DATE: 03/25/2019  
SCALE: 1"=20'  
CAD I.D.: PP180258BASE-2

PROJECT:  
PRELIMINARY / FINAL  
LAND DEVELOPMENT  
PLANS

FOR  
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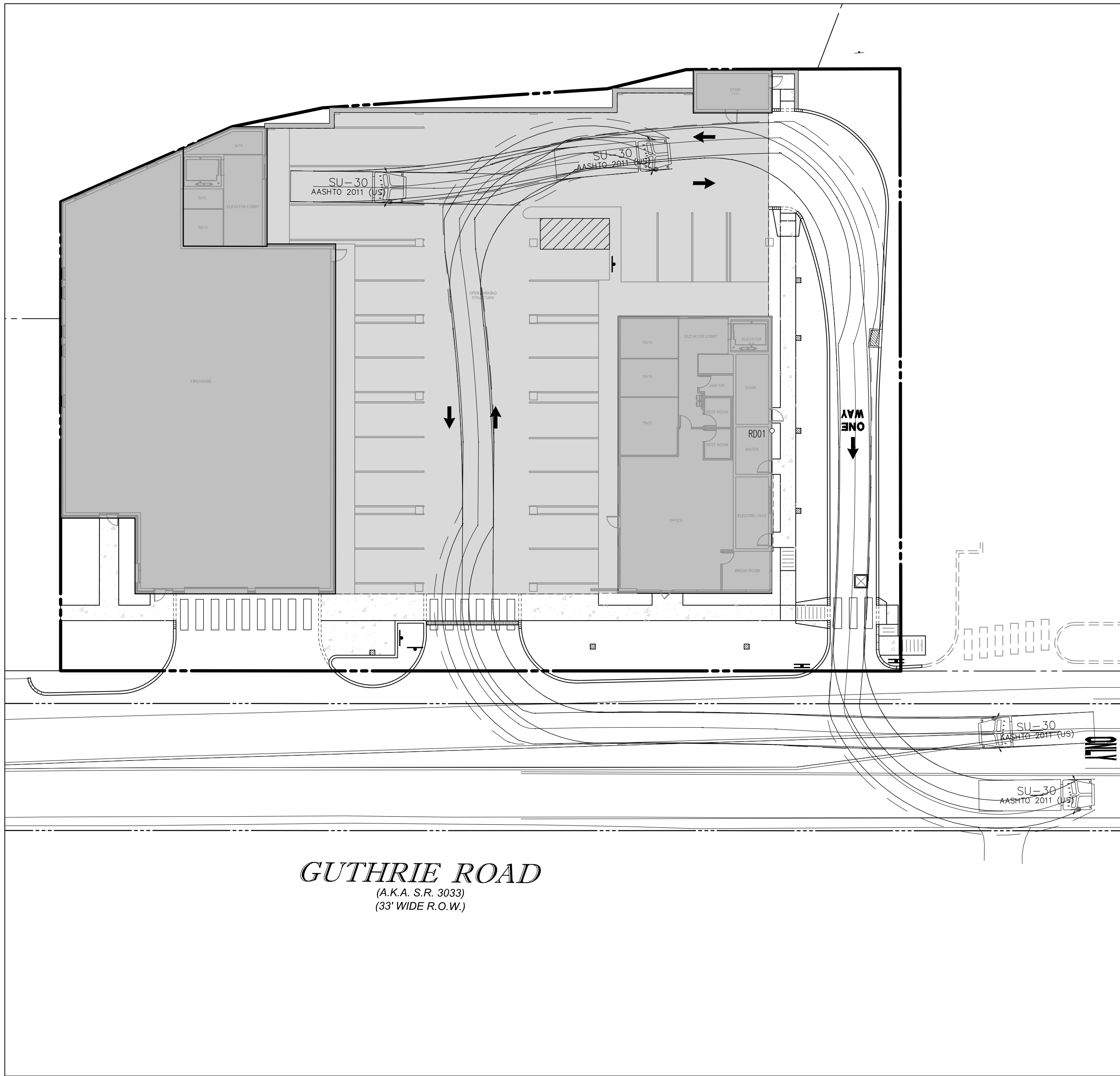
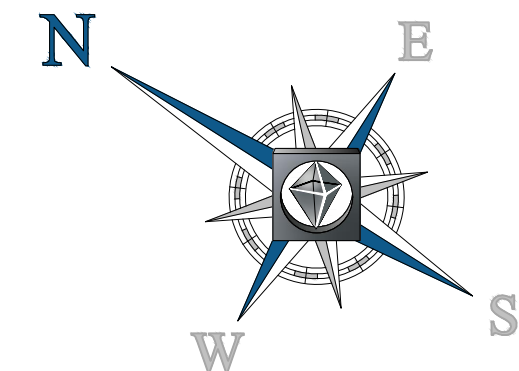
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SHEET TITLE:  
**INLET DRAINAGE AREA PLAN**

SHEET NUMBER:  
**C-014**  
OF 17

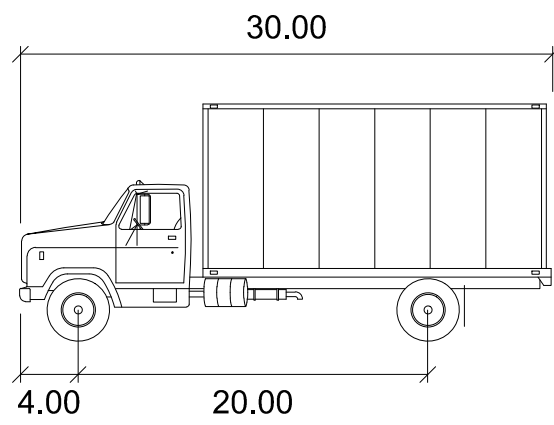
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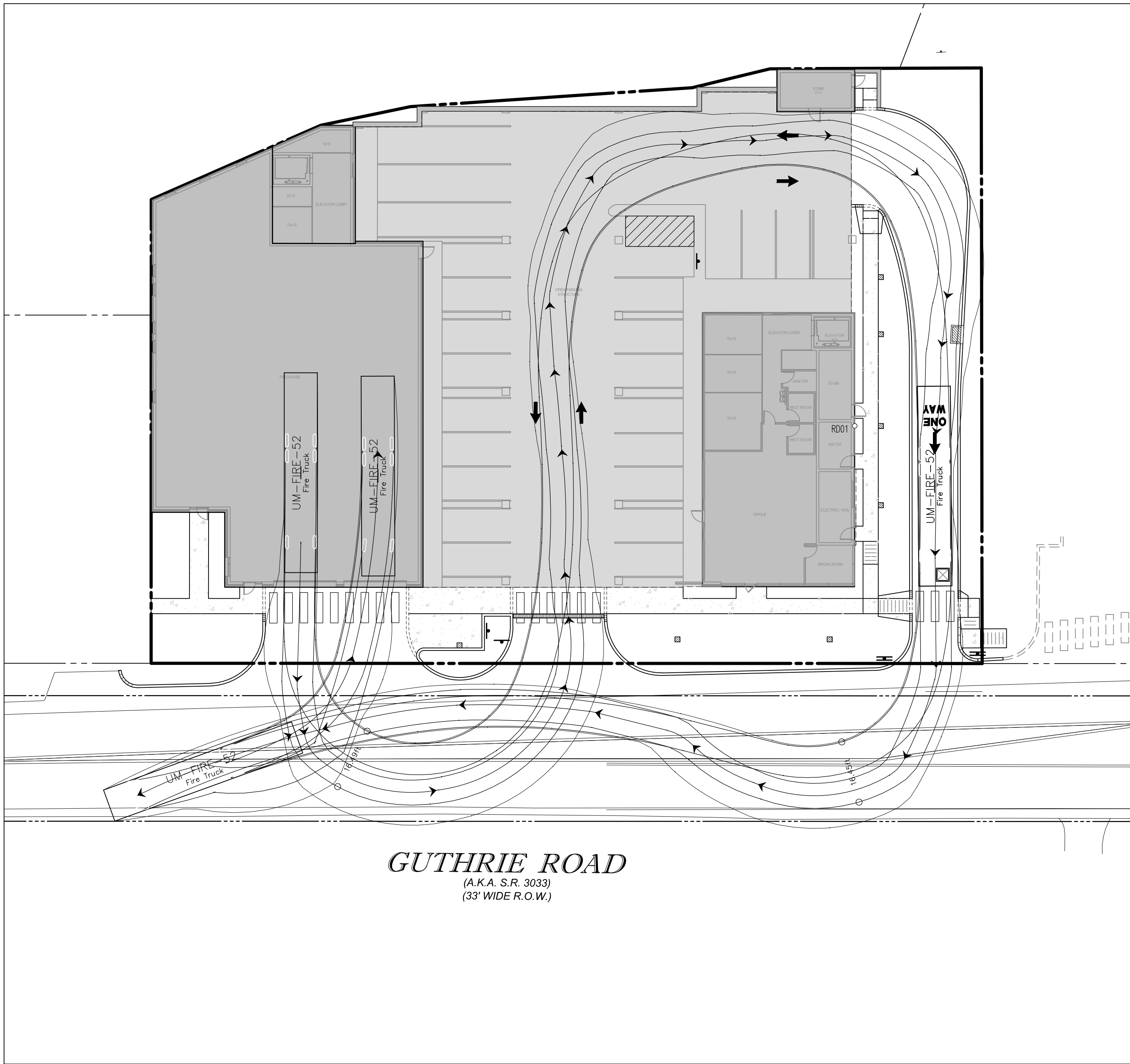


**GUTHRIE ROAD**  
(A.K.A. S.R. 3033)  
(33' WIDE R.O.W.)

**30-FOOT BOX TRUCK CIRCULATION**

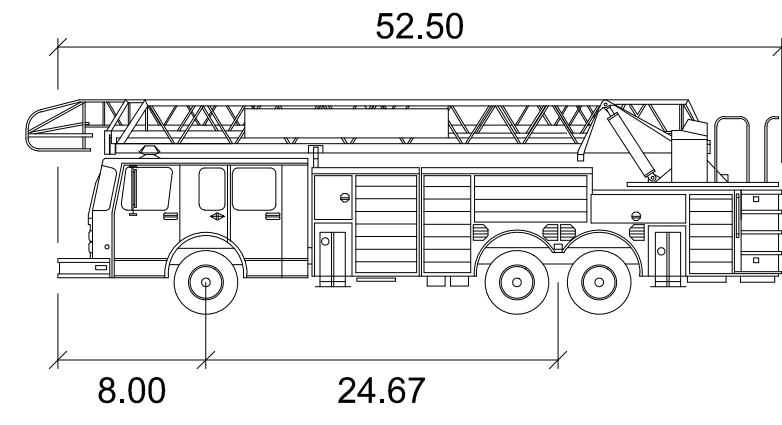


SU-30	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

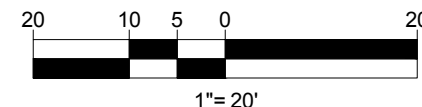


**GUTHRIE ROAD**  
(A.K.A. S.R. 3033)  
(33' WIDE R.O.W.)

**FIRE TRUCK CIRCULATION**



UM-FIRE-52	feet
Width	: 8.70
Track	: 8.10
Lock to Lock Time	: 6.0
Steering Angle	: 40.0



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PROJECT No.:	PP180258
DRAWN BY:	CRO
CHECKED BY:	JPW
DATE:	03/25/2019
SCALE:	1"=20'
CAD I.D.:	PP180258BASE-2

PROJECT:  
PRELIMINARY / FINAL  
LAND DEVELOPMENT  
PLANS

FOR  
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SHEET TITLE:  
**VEHICLE  
CIRCULATION  
PLAN**

SHEET NUMBER:  
**C-015**  
OF 17

REVISION 2



## LUMINAIRE SCHEDULE

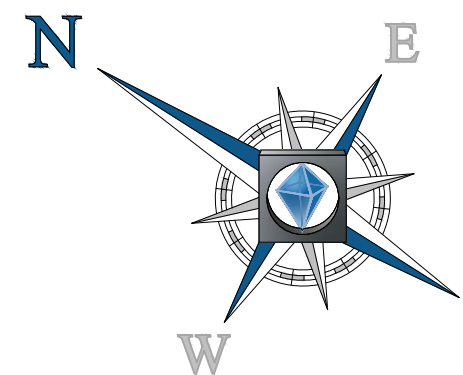
LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	TOTAL LUMENS	LLF	DESCRIPTION
P2-S	1	24'-6" AFG	SINGLE	8904	0.900	SIGNIFY GARDCO PUREFORM LED AREA LUMINAIRE, TYPE 2, WITH HOUSE-SIDE SHIELD, ZERO UPLIGHT (P26-48L-400-NW-G2-AR-2-x-HIS)
W3	4	14'-0" AFF	SINGLE	6298	0.900	SIGNIFY GARDCO PUREFORM LED WALL SCENE, TYPE 3, ZERO UPLIGHT (PWS-48L-300-NW-G2-3-x-I)
W2	1	14'-0" AFF	SINGLE	6298	0.900	SIGNIFY GARDCO PUREFORM LED WALL SCENE, TYPE 2, ZERO UPLIGHT (PWS-48L-300-NW-G2-3-x-I)

## CALCULATION SUMMARY

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVGMIN	MAXMIN
ALL POINTS	ILLUMINANCE	Fc	0.73	6.5	0.0	N/A	N/A
FIREHOUSE DRIVEWAY	ILLUMINANCE	Fc	2.99	4.4	1.8	1.86	2.44
ONE WAY DRIVE	ILLUMINANCE	Fc	2.16	4.6	1.2	1.80	3.83
PARKING LOT DRIVEWAY	ILLUMINANCE	Fc	3.30	4.7	2.0	1.65	2.35
SIDEWALK	ILLUMINANCE	Fc	2.38	6.5	0.7	3.40	9.29

## LIGHTING COMPLIANCE

- SECTION 4-05 LIGHTING:  
B. LIGHTING PARAMETERS:  
(1) ALL LIGHTING SHALL BE EFFECTIVELY DESIGNED AND INSTALLED SO AS NOT TO PRODUCE ANY GLARE THAT MAY CREATE A SAFETY HAZARD. (COMPLIES)  
(2) LIGHTING AT THE PERIMETER BOUNDARIES OF THE TOWN CENTER DEVELOPMENT SHALL NOT EXCEED 2.0 FOOT CANDLE TEN FEET OUTSIDE THE PROPERTY LINES, EXCLUSIVE OF THE ENTRANCES. (COMPLIES)  
(3) LIGHTING WILL BE INTEGRATED INTO ARCHITECTURAL AND LANDSCAPE DETAILS USING REBAR FULLCUT OFF FIXTURES WHEREVER AND WHENEVER POSSIBLE. (COMPLIES)  
(4) THE SCALE OF THE LIGHTING POLES AND THE LUMINAIRES SHALL VARY IN RESPONSE TO THE DIFFERENT SCALES OF ARCHITECTURE AND VOLUMES WITHIN THE AREA OF THE TOWN CENTER DEVELOPMENT. THE HEIGHT OF FREESTANDING LIGHT POLES USED FOR LIGHTING OFF-STREET PARKING SHALL BE 30 FEET OR LOWER. (COMPLIES)  
(5) LARGER LIGHT POLES THAT CAN EITHER PROJECT LIGHT A GREATER DISTANCE OR THAT WILL APPEAR APPROPRIATE IN SCALE TO THE SURROUNDING ARCHITECTURE ARE PERMISSIBLE FOR AREAS THAT HAVE MULTIPLE LANES OF TRAFFIC (LARGE-SCALE STREETS) OR MULTI-STORY STRUCTURES. (COMPLIES)  
(7) PEDESTRIAN, STREET AND SIDEWALK LIGHTING POLES MAY VARY IN HEIGHT PROVIDED A MINIMUM LIGHTING INTENSITY OF 0.70 FOOT CANDLES IS MAINTAINED. (COMPLIES)



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SCALE: AS NOTED  
CAD I.D.: PP180258LIGHT-2

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**D.T. NORTH**  
REGISTERED LANDSCAPE ARCHITECT  
PENNSYLVANIA LICENSE No. LA002729

SHEET TITLE:

LIGHTING PLAN

SHEET NUMBER:

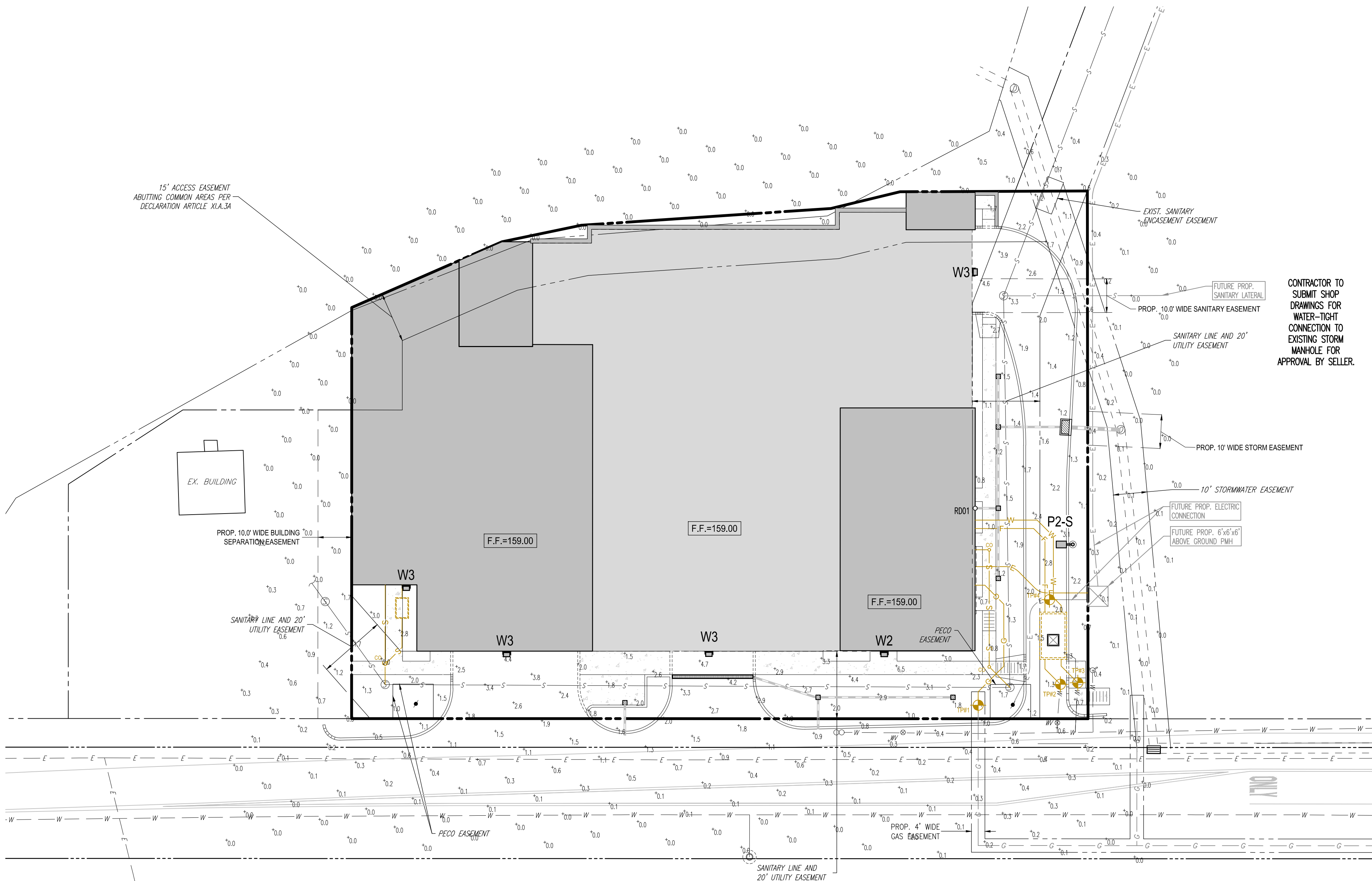
C-016  
OF 17

REVISION 2

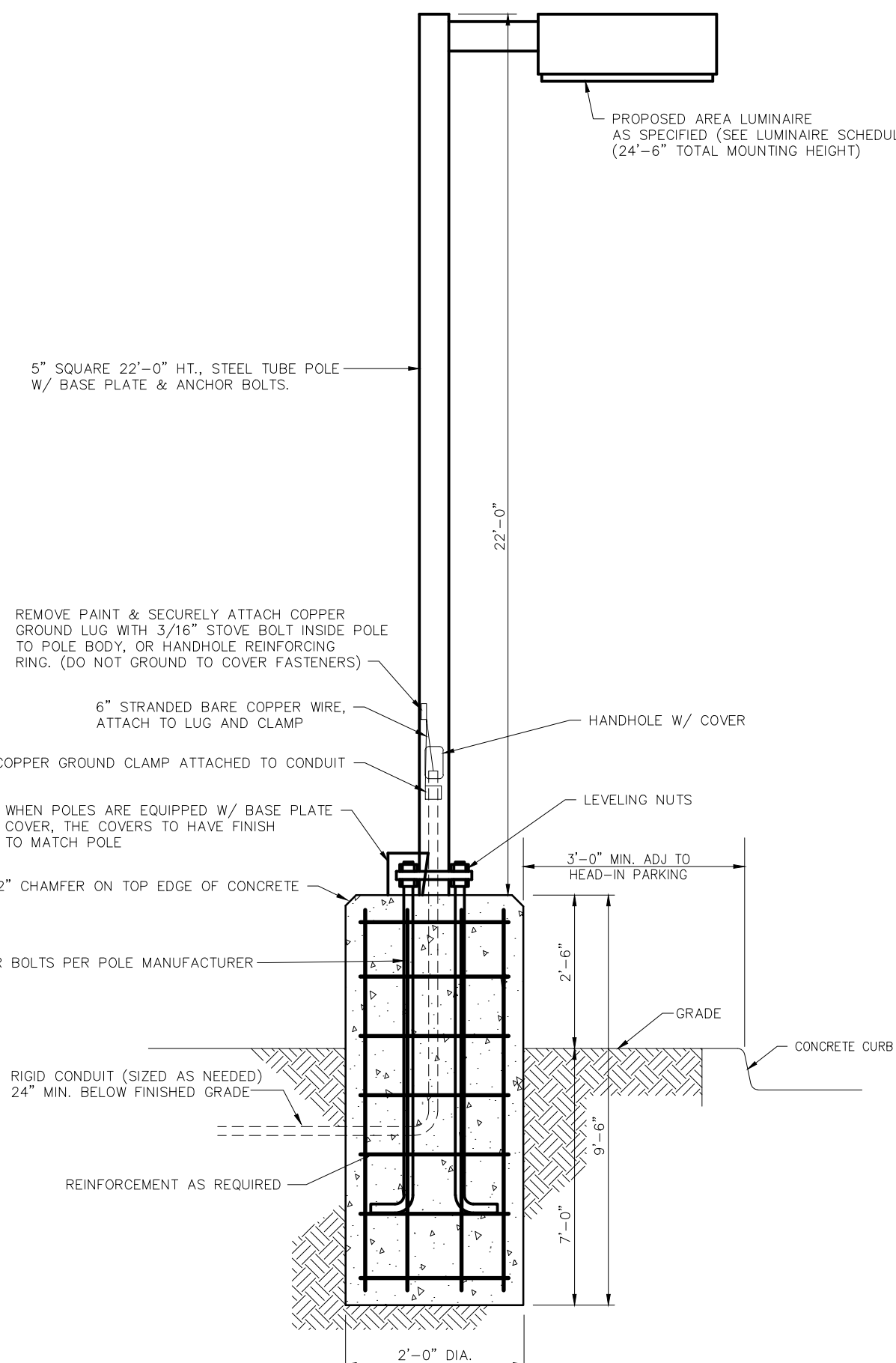
## GENERAL LIGHTING NOTES

- THIS PLAN IS TO BE UTILIZED FOR LIGHTING PURPOSES ONLY. ELECTRICAL ENGINEERING, INCLUDING, BUT NOT LIMITED TO, CIRCUITRY, CONDUIT, WIRING, AND ASSOCIATED SPECIFICATIONS, IS NOT WITHIN THE SCOPE OF THIS DOCUMENT.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE PROJECT ENGINEER (BOHLER) FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE FIXTURE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOT-CANDLES.
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES FUNCTION IMPROPERLY.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO THE DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON THE DATA PROVIDED BY THE MANUFACTURER FOR 100,000 HOUR PROJECTED LUMEN MAINTENANCE BASED ON TEST DATA FOLLOWING IES LM-80-08 TESTING METHODS. LIGHT LEVELS DEPICTED ON THIS PLAN ARE REFLECTIVE OF THE LLF NOTED.

CONTRACTOR TO  
SUBMIT SHOP  
DRAWINGS FOR  
WATER-TIGHT  
CONNECTION TO  
EXISTING STORM  
MANHOLE FOR  
APPROVAL BY SELLER.



**GUTHRIE ROAD**  
(A.K.A. S.R. 3033)  
(33' WIDE R.O.W.)



## NOTES:

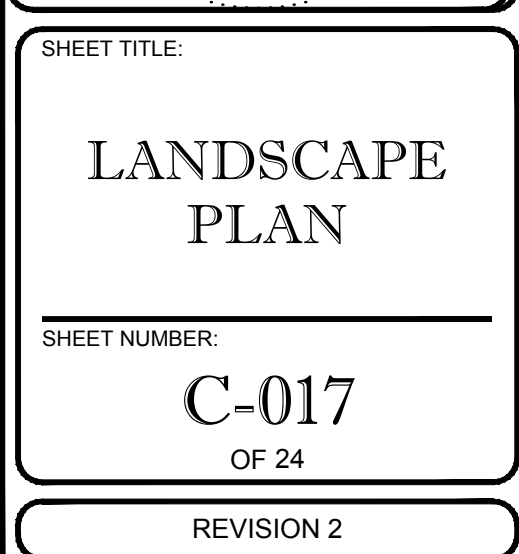
- THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY. CONTRACTOR SHALL ENSURE DESIGN IS PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS, SITE SPECIFIC SOIL PARAMETERS.
- SOME SITE LOCATIONS AND/OR CONDITIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
- THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING ASIDE FROM THE LIGHT FIXTURE INCLUDING (BUT NOT LIMITED TO) CAMERAS, BANNERS, FLAGS, SIGNAGE, ETC. AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.
- ALL REBAR SHALL HAVE A YIELD STRENGTH OF 60KSI AND MAINTAIN A 3\"/>

1 LIGHT POLE DETAIL  
S1 SCALE: N.T.S.

REV.: 2017.05.30

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D. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BODI PURPOSES ONLY (SEE SPECIFICATION 6.A.1))

- 1. 20 POUNDS "GRO-GROW" OR APPROVED EQUAL SOIL CONDITIONER/FERTILIZER
- 2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER

E. THE PREPARING OF TOLERANCE SHALL NOT BE CONSIDERED UNDER MINOR OR BROKEN CONDITIONS

D. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BODI PURPOSES ONLY (SEE SPECIFICATION 6.A.1)):

- 1. 20 POUNDS "GRO-GROW" OR APPROVED EQUAL SOLID FORM ORGANIC FERTILIZER
- 2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER

E. THE PREPARING OF TOLERANCE SHALL NOT BE CONSIDERED UNDER MINOR OR BROKEN CONDITIONS.

11. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER

E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

9. PLANTING

A. INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT

THAT THIS IS NOT POSSIBLE LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.

B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN

C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.

D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:

PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.

G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:

ACER RUBRUM	PLATANUS X ACERIFOLIA
BETULA VARIETIES	POPULUS VARIETIES

CARPINUS VARIETIES	PRUNUS VARIETIES
CRATAEGUS VARIETIES	PYRUS VARIETIES
KOELREUTERIA	QUERCUS VARIETIES
LIQUIDAMBAR STYRACIFLUA	TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA	ZELKOVA VARIETIES

H. PLANTING PITS SHALL BE DUG WITH LEVEL OR CONVEX BOTTOMS, WITH THE WIDTH THREE TIMES THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:

- I. 1 PART PEAT MOSS
- II. 1 PART COMPOSTED COW MANURE BY VOLUME
- III. 3 PARTS TOPSOIL BY VOLUME

IV. 21 GRAMS AGRIFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:

- A) 2 TABLETS PER 1 GALLON PLANT
- B) 3 TABLETS PER 5 GALLON PLANT
- C) 4 TABLETS PER 15 GALLON PLANT
- D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK

J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.

K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE. NO PRUNING SHALL BE CONDUCTED WITHIN THE FIRST YEAR OF PLANTING.

M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.

N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, AND PLANTS MUST BE STOCKPILED FOR A MINIMUM OF 14 DAYS AND MAXIMUM OF 30 DAYS.

D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.

F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

11. WATERING  
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.

B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.

C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF

12. GUARANTEE  
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE

B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION. A PLANT SHALL BE CONSIDERED "DEAD OR DYING"

C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND UNTIL TURNOVER TO THE OWNER/OPERATOR. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.

D. LAWNS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND UNTIL TURNOVER TO THE OWNER/OPERATOR THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

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GENERAL NOTES:

2. THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
3. ALL DISTURBED UPLAND AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH LANDSCAPE SPECIFICATION #C.2, UNLESS OTHERWISE STATED ON THIS PLAN.
4. SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER HAVING.
5. IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE REQUIREMENTS OF THE CHOSEN PRODUCTS MANUFACTURER. THE IRRIGATION DESIGN SHALL COMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE CONTROL. THE IRRIGATION SYSTEM THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
6. PLANT MATERIAL, SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOILER ENGINEERING AND THE MUNICIPAL ENGINEER AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL, PRIOR TO ANY PLANTING. PLANT MATERIALS NOT SPECIFIED, PRODUCED WITHIN STORMWATER BMP FEATURES SHALL NOT BE NATIVE SPECIES.
7. WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITH ANY BMP FACILITY. BMP FACILITIES INCLUDE RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND

LANDSCAPE SCHEDULE

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE

