



**Marc D. Jonas**

470 Norristown Road, Suite 302

Blue Bell, PA 19422

Direct: 215-542-9345

Fax: 215-542-9421

[mjonas@eastburngray.com](mailto:mjonas@eastburngray.com)

**DATE OF MAILING:** March 5, 2020  
**SENT BY FIRST CLASS MAIL AND EMAIL**

**NOTICE OF DECISION**

**VIA EMAIL**

Joseph A. Sotolotto

511 Firethorn Road

King of Prussia, PA 19406

[jasotolotto@hotmail.com](mailto:jasotolotto@hotmail.com)

**Re: Upper Merion Township Zoning Hearing Board  
Application No. 2020-02  
Applicant: Joseph A. Sotolotto  
Property: 511 Firethorn Road (Parcel # 58-00-06799-00-1)**

Dear Mr. Sotolotto:

This letter provides notice of the decision of the Upper Merion Township Zoning Hearing Board following the conclusion of the hearing on Wednesday, March 4, 2020.

The Zoning Hearing Board voted to grant a variance from section 165-23 *Area, width and yard regulations* of the Upper Merion Township Zoning Ordinance of 1942, as Amended, to permit an aggregate side yard of 21.8 feet where a minimum of 25 feet is required. The proposed side yards are to be 9.7 feet along the northwestern property line, which is an existing legally nonconforming condition, and 12.1 feet along the southeastern property line.

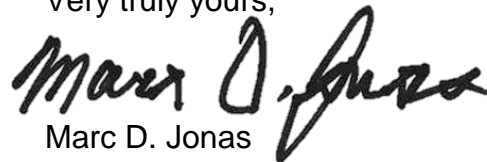
This approval is conditioned upon construction conforming strictly to the testimony, and exhibits presented at the hearing and set forth in the application, including, but not limited to, the plan set entitled "Sotolotto Sunroom Addition," 4 sheets, prepared by The Seip Group, Inc., dated April 21, 2015, which accompanies this letter.

Because this application was granted and not contested, the Zoning Hearing Board will not issue a decision with findings of fact, conclusions of law, and reasons.

The approval is subject to a 30-day appeal period beginning from the date of entry (mailing) of the notice of decision.

The applicant is directed to section 165-257 "Expiration of Special Exceptions or Variances" and applicable statutory provisions governing the expiration of variances.

Very truly yours,

A handwritten signature in black ink, appearing to read "Marc D. Jonas", written over the typed name.

Marc D. Jonas

Enclosure:

- plan set entitled "Sotolotto Sunroom Addition," 4 sheets, prepared by The Seip Group, Inc., dated April 21, 2015


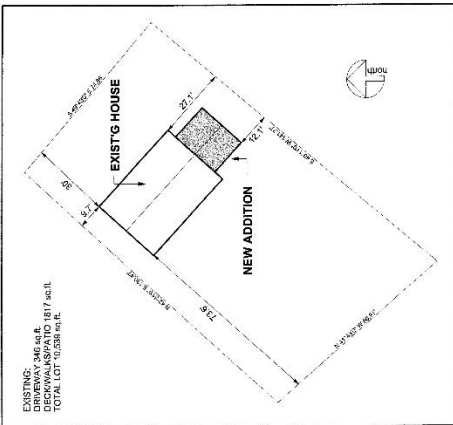
cc: Mark Zadroga, Director; Chief Building/Zoning Official  
Gregory W. Philips, Esq., Supervisor  
Bernadette A. Kearney, Esq.



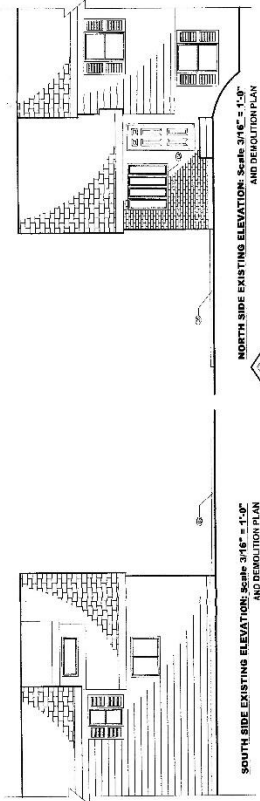
**The Seip Group Inc.**  
ARCHITECTS  
P.O. Box 1031  
1000 Commerce Pk.  
19047  
267/680-3228  
FAX 215-780-9656

**Sotolotto House Sunroom Addition**  
511 Firethorn Road, King of Prussia, PA 19406

DATE	April 21, 2015
ISS NO.	040415
NO. OF PARTS	4
REVISION	

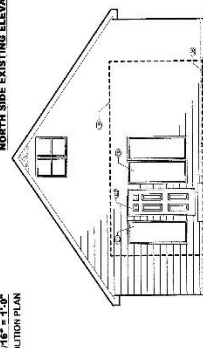
A circular logo with a thick black border. Inside the circle, the text "A01" is written in a bold, black, sans-serif font, centered horizontally and vertically.

**SITE PLAN: Scale 1/20" = 1'-0"**



Scale 3/16" = 1'-0"  
AND DEMOLITION PLAN

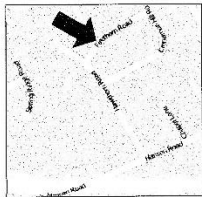
**Scale 3/16" = 1'-0"**



**EAST SIDE EXISTING ELEVATION: 8scale 3/16" = 1'-0"**  
**AND DEMOLITION PLAN**

## DEMOLITION PLAN NOTES

- |    |   |
|----|---|
| D1 | REMOVE WALL AS NOTED.                                   |
| D2 | REMOVE WINDOWS.   |
| D3 | REMOVE DOOR.  |
| D4 | RELOCATE WINDOWS.                                       |
| D5 | RAISE UP CONCRETE FOUNDATION, KEEP EXISTING PATIO SLAB. |



**LOCATOR MAP: No Scale**

## DEMOLITION GENERAL NOTES

- [illegible]

## GOVERNING CODE SUMMARY

11 Firethorn Road  
 Sunroom Addition

**Project Description**

Project Shall Consist of a 300 sq. ft. addition to an existing 1,095 sq.ft. house  
 foot print. New Electrical Circuits. No Plumbing

**Project Square Footage**  
PRINT: 1,095 SQ.FT.

390  
10.539

38.7%

39.8

erty:

Montgomery Co., Pennsylvania

RESIDENTIAL BUILDING CODES

ION TOWNSHIP CODES AS AP

## ARCHITECTURAL GENERAL NOTES

- [illegible]

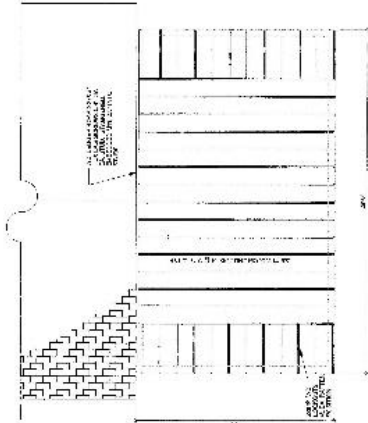
DO NOT SCALE THE DRAWINGS.



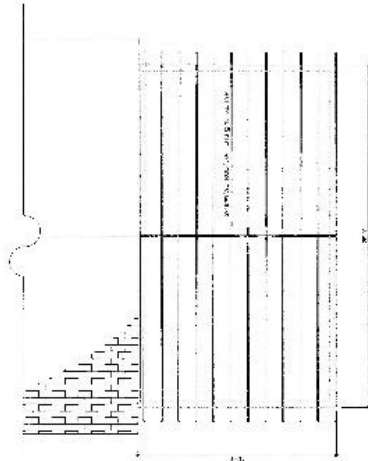
Sotolotto House Sunroom Addition  
571 Freedom Road, King of Prussia, PA 19406

DATE	APR 13, 2020
BY	JAS
PROJECT	4
SHEET	
SCALE	

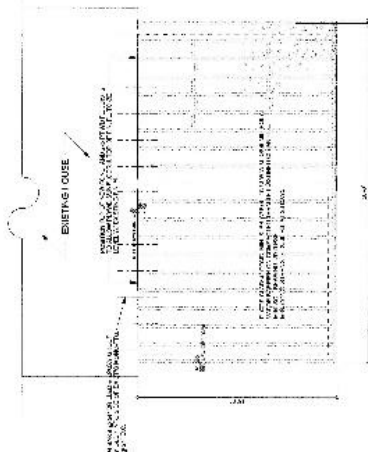
A02



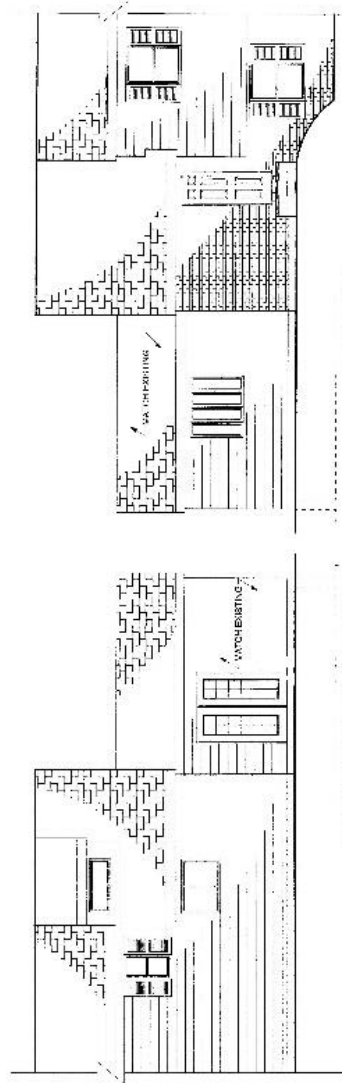
CEILING JOIST PLAN: Scale 1/4" = 1'-0"



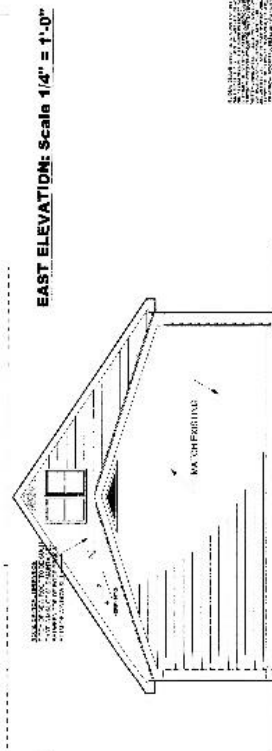
RAFTER PLAN: Scale 1/4" = 1'-0"



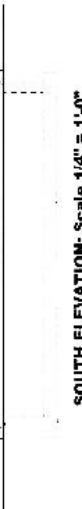
FOUNDATION PLAN: Scale 1/4" = 1'-0"



WEST ELEVATION: Scale 1/4" = 1'-0"



EAST ELEVATION: Scale 1/4" = 1'-0"



SOUTH ELEVATION: Scale 1/4" = 1'-0"



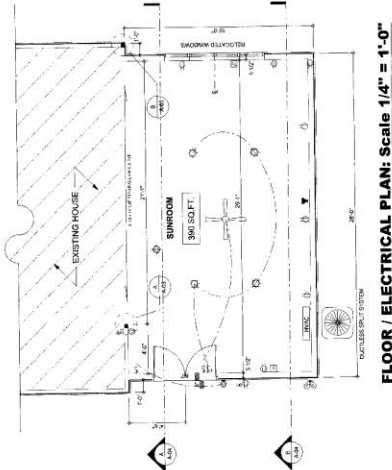


**Sotolotto House Sunroom Addition**  
511 Firehorn Road, King of Prussia, PA 19406

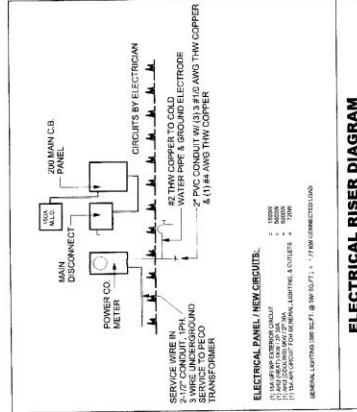
DATE	APR 21, 2015
JOB NO.	004410
SHEET NO.	4
REVISION	



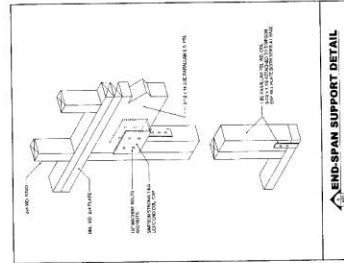
ELECTRIC KEY	
DUPLEX OUTLET	⊕
GROUND FAULT INTERRUPTER OUTLET	⊕*
3-WAY SWITCH	⋈
SWITCH	⬢
RECESSED LIGHT	⬢
SMOKE DETECTOR	⬢
TV CABLE	⬢
EXTERIOR LIGHT	⬢
CEILING FAN	⬢
FLOODLIGHTS	⬢
LAN CONNECTION	⬢
THERMOSTAT	⬢



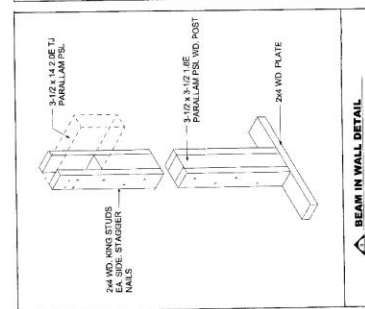
FLOOR / ELECTRICAL PLAN: Scale 1/4" = 1'-0"



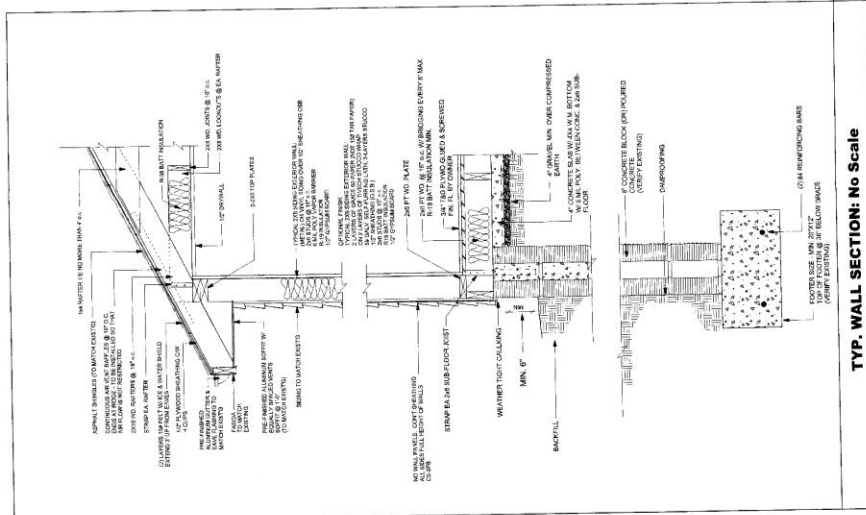
ELECTRICAL RISER DIAGRAM



END-SPAN SUPPORT DETAIL



BEAM IN WALL DETAIL



TYP. WALL SECTION: No Scale

