

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONTGOMERY

ON THIS _____ DAY OF _____, 20____, BEFORE ME, THE
SIGNED, A NOTARY PUBLIC FOR THE COMMONWEALTH OF PENNSYLVANIA,
PERSONALLY APPEARED _____, who acknowledged
THIS PLAN TO BE THE OFFICIAL PLAN OF STREETS AND PROPERTY SHOWN
ON THE MAPS AND RECORDS OF THE COMMONWEALTH OF PENNSYLVANIA,
PENNSYLVANIA, AND DESIRE THAT THIS PLAN BE RECORDED ACCORDING TO LAW.

I/WE _____ HAVE LAND UPON MY/OUR LANDS
SITUATE IN THE TOWNSHIP OF UPPER MERION, MONTGOMERY COUNTY,
PENNSYLVANIA, LOTS AND STREETS ACCORDING TO THE ACCOMPANIED PLAN
WHICH IS/ARE _____, BEING _____, AND WITNESSES MY/OUR HAND AND SEAL THE _____ DAY OF _____, 20____.

REVIEWED BY THE UPPER MERION TOWNSHIP ENGINEER THIS _____ DAY OF _____, 20____.

APPROVED BY TOWNSHIP SUPERVISORS OF THE TOWNSHIP OF UPPER MERION
THIS _____ DAY OF _____, 20____.

CHAIRPERSON _____ VICE-CHAIRPERSON _____

SURVEYOR'S CERTIFICATE, BOUNDARY & TOPOGRAPHY

THIS IS TO CERTIFY THAT THIS PLAN REPRESENTS A FIELD SURVEY BY ME OR
HER/US, THAT ALL GEOMETRIC AND GEODETIC DETAILS AS SHOWN ARE CORRECT,
AND THAT ALL LOTS OR TRACTS HAVE A BOUNDARY CLOSURE ERROR OF 1:10,000
OR BETTER.

REORDER OF DEEDS

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR THE
COUNTY OF MONTGOMERY, AT NORRISTOWN, PA, IN PLATBOOK _____,
PAGE NO. _____ ON _____, 20____.

MCP No. _____

PROCESSED AND REVIEWED: A report has been
prepared by the Montgomery County Planning Commission
in accordance with the Montgomery Planning Codes.

Certified this date _____

For The Director _____

MONTGOMERY COUNTY PLANNING COMMISSION

FINAL OVERALL SITE PLAN

4	9-21-16	REVISED PER MCPD COMMENTS IN 9-10-16 REVIEW LETTER
3	5-19-16	REVISED PER MCPD CONSULTANT REVIEW LETTERS DATED 3-31-16 & 4-25-16
2	11-16-15	REV. MODIFIED LAYOUT
1	5-14-15	REVISED PER TWP ENGR REVIEW LETTER DATED 10-3-14

LAND DEVELOPMENT PLAN

MANCILL MILL ROAD COMPANY
FOR
UPPER MERION TOWNSHIP
MONTGOMERY COUNTY, PA

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
1285 Drouin Forge Road 93441
Phone (610) 903-0080
Fax (610) 903-0080

Project - 3755
Drawn - 7-9-14
Scale - 1" = 100'
Checked - R.F.N.
Checked - A.J.B.
Sheet - 1 OF 14

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CONTROL DETAIL SHEET	
PROFILE SHEETS	

APPLICANT/OWNER
MANCILL MILL ROAD COMPANY
401 SOUTH SCHUYLKILL AVENUE
NORRISTOWN, PA 19403
PHONE: 610-630-7911
FAX: 610-630-9870
ATTN: RICHARD ORLON

GENERAL NOTES:

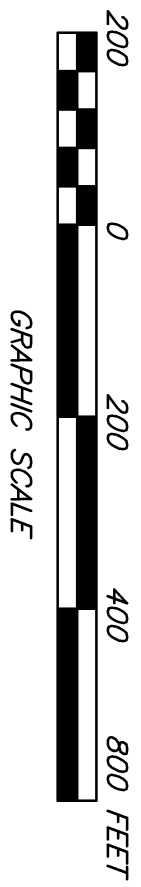
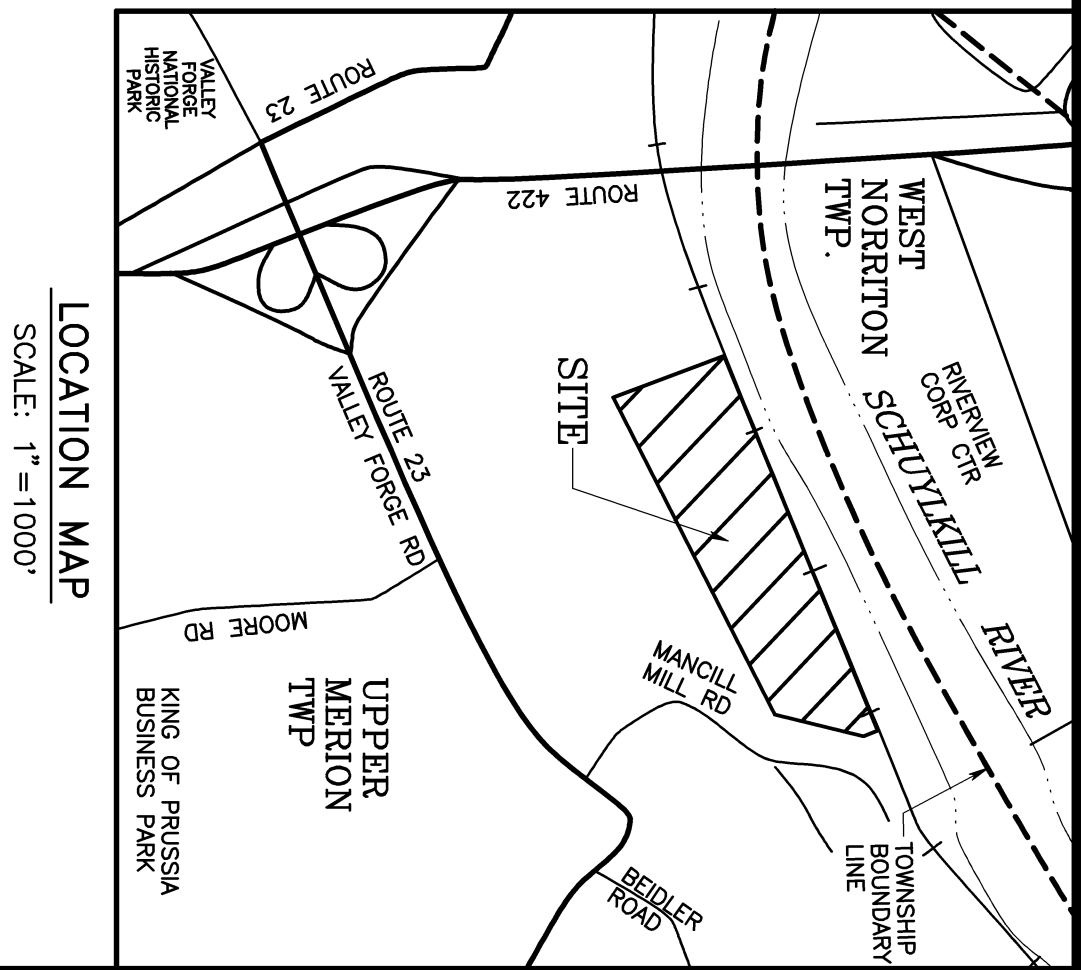
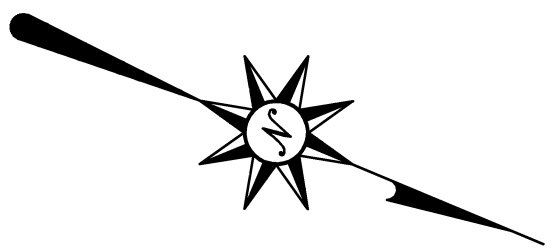
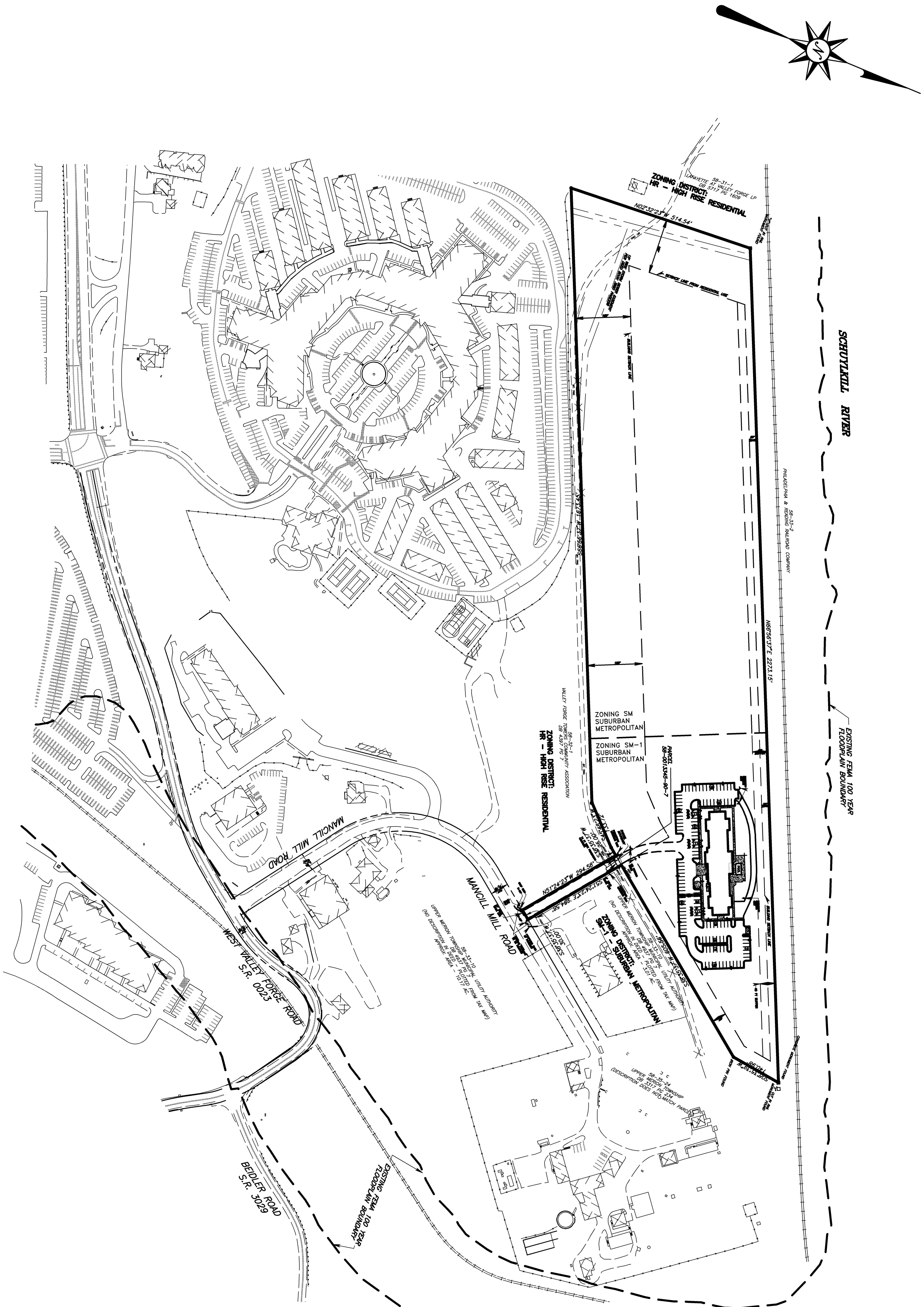
- BOUNDARY SURVEY BY EDWARD B. WALSH AND ASSOCIATES, INC. (EBWA) IN ACCORDANCE WITH DESCRIPTION CONTAINED IN DEED BOOK 5717, PAGE 100, DATED DECEMBER 2008 BY EBWA DESIGN GROUP. EBWA SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE REPORT.
- TOTAL TRACT AREA: 22.926 AC.
- TOPOGRAPHY WAS PHOTOGRAPHICALLY CAPTURED, DECEMBER 2011, BY EBWA. PHOTOGRAPHICALLY CAPTURED TOPOGRAPHY IS CONTROLLED BY EBWA AND SUPPLEMENTED WITH GROUND SURVEYS BY EBWA.
- PROJECT BENCH MARK IS DESIGNATED AS NOS. NO. KY 1884, (0.9 M. EAST DISCOUNT STORE AND CORNER OF CONCRETE BASE OF SANDGATE) 24 FT. SOUTH OF THE SOUTH END OF THE SOUTH SET OF MAIN LINE TRACKS.) ELEVATION: 63.57' ABOVE MVD. BE THE LOCAL BENCHMARK IS THE SANDGATE STATION MARKED IN THE SOUTH SIDE OF MANCILL MILL ROAD, OPPOSITE THE EXISTING SITE ACCESS DRIVE. THE RAIL ELEVATION OF 128.10 REFLECTS THE MVD 88 DATUM.
- THE PROPOSED DEVELOPMENT/USES WILL UTILIZE THE PUBLIC WATER AND SANITARY SEWER SYSTEM.
- THERE ARE NO WETLANDS OR 100 YEAR FLOODPLAIN LOCATED ON THE TRACT.
- THE PORTION OF THE SITE THAT HAS CONTAMINATED SOILS WILL BE DEVELOPED IN ACCORDANCE WITH THE CLEANUP PLAN AS APPROVED BY THE DEP.
- IMPROVEMENTS TO THE INTERSECTION OF MANCILL MILL ROAD AND WEST VALLEY FORGE ROAD AS NOTED IN THE TRAFFIC IMPACT STUDY PREPARED BY TRAFFIC PLANNING AND DESIGN WILL BE COMPLETED BY THE APPLICANT. THE EXISTING ABANDONED BUILDINGS ON THE WESTERN PORTION OF THE SITE ARE TO BE REMOVED DURING FUTURE SITE DEVELOPMENT OF THE WESTERN PORTION OF THE TRACT.
- THE STORMWATER MANAGEMENT FACILITIES PROPOSED FOR THIS PROJECT WILL BE CONSTRUCTED AND OPERATED IN ACCORDANCE WITH THE RESTRICTION MUST BE RECORDED TO PROHIBIT THE REMOVAL OR ALTERATION OF THE FACILITIES.
- A BLANKET EASEMENT ON THE PROPERTY SHALL BE GRANTED TO THE TOWNSHIP AND COUNTY OF MONTGOMERY TO ENTER AND IMPROVE STORMWATER MANAGEMENT FACILITIES.
- IT IS REQUESTED THAT FEE IN LIEU OF OPEN SPACE BE PROVIDED AS STIPULATED IN THE TOWNSHIP CODE, SECTION 165-217.2(1).
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH ALL UTILITY REQUIREMENTS, INCLUDING THE COLLECTION (PIPING SYSTEM) REQUIRES WRITTEN APPROVAL FROM THE PER MERION TOWNSHIP SUPERVISORS.
- ALL UTILITIES AND MATERIALS SHALL BE IN CONFORMANCE WITH PENNDOT PUBLICATION 408.
- STORMWATER GRADING AND EARTH DISTURBANCE REQUIRES A CLASS B EROSION CONTROL PLAN.
- ALL ELECTRIC, TELEPHONE AND COMMUNICATION SERVICES SHALL BE PROVIDED BY UNDERGROUND CABLE.
- ALL CLIMB SHALL BE SET AT LOCATIONS INDICATED BY THE SYMBOL.
- THE EXISTING ABANDONED BUILDINGS ON THE WESTERN PORTION OF THE SITE ARE TO BE REMOVED DURING FUTURE SITE DEVELOPMENT OF THE WESTERN PORTION OF THE TRACT.
- ALL LANDSCAPE PLANS MUST COMPLY WITH ADA DESIGN REQUIREMENTS.

ACT 287 SERIAL NUMBER:
EDWARD B. WALSH & ASSOCIATES, INC. DOES NOT GUARANTEE THE
ACCURACY OF THE LOCATIONS FOR EXISTING SUBSURFACE UTILITY
LINES, STRUCTURES, ETC. SHOWN ON THE PLANS. NOR DOES E. B.
WALSH & ASSOCIATES, INC. GUARANTEE THE LOCATION OF ALL
SUBSURFACE UTILITY LINES, STRUCTURES, ETC. BEFORE THE START
OF WORK, BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM
AT 1-800-242-1176.

UTILITIES NOTED:
ADJACENT COMMUNICATIONS, INC.
ADIR PENNSYLVANIA, INC.
AIRTEL ATLANTA
CABLE TELEVISION
COMCAST CABLE COMMUNICATIONS
LEVEL 3 COMMUNICATIONS, LLC
MC/VERIZON BUSINESS
PENNSYLVANIA AMERICAN WATER
WEST VALLEY FORGE ROAD
UPPER MERION TWP MUNICIPAL
VERIZON PENNSYLVANIA, INC.
ZIND BROADBAND FIBER/TV, PPL TELCOM, LLC

PARCELS NO. 58-0013346-00-6 & 58-00-13345-90-7 (PER DEED)





FINAL
SITE AND SURROUNDING
PROPERTY PLAN

4	9-21-16	REVISED PER MDCD COMMENTS IN 9-10-16 REVIEW LETTER
3	5-19-16	REVISED PER TWP CONSULTANT REVIEW LETTERS DATED 3-31-16 & 4-25-16
2	11-16-15	REV. MODIFIED LAYOUT
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LAND DEVELOPMENT PLAN

FOR
MANCILL MILL ROAD COMPANY

UPPER MERION TOWNSHIP
MONTGOMERY COUNTY, PA
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
1251 Drouin Forge Road
Pottsville, PA 17854
Phone (610) 903-0060
Fax (610) 903-0080

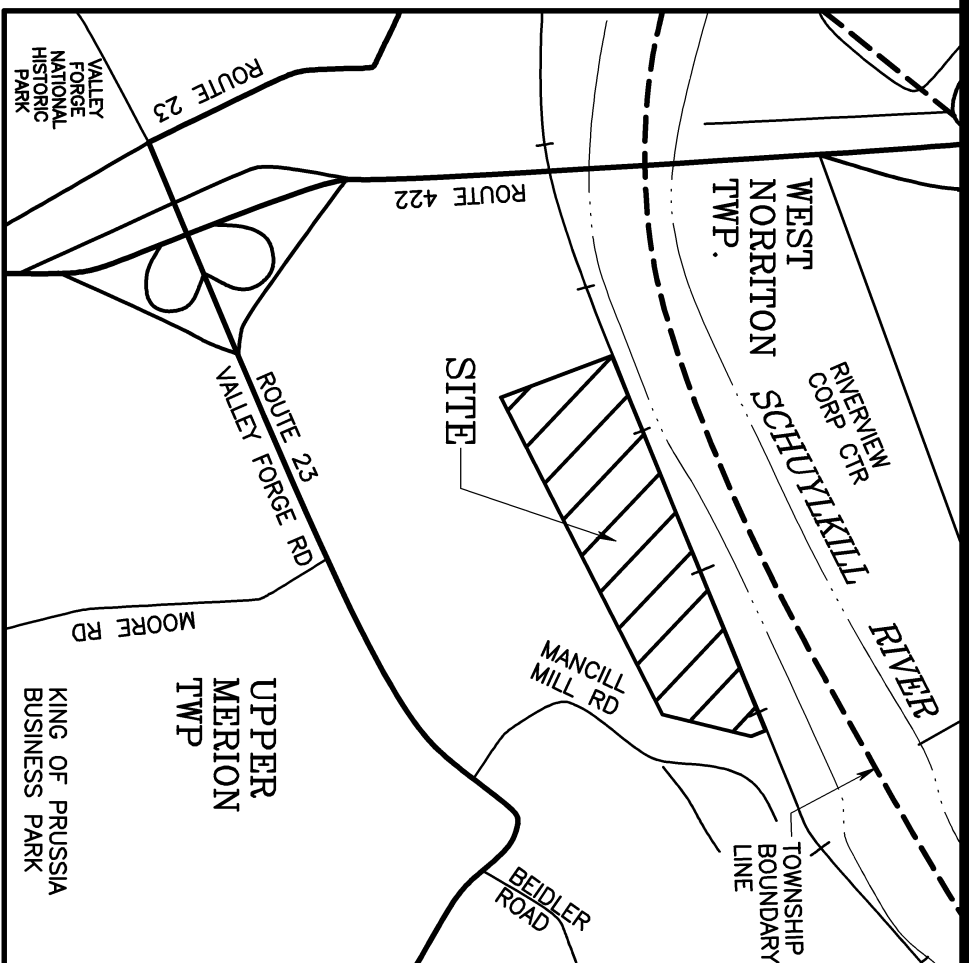


Project- 3755
Date- 7-9-14
Scale- 1" = 200'
Drawn- R.F.N.
Checked- A.J.B.
Sheet- 2 OF 14

Plotdate: 10/28/2016 Pfile: F:\JLB\3755\3755-B10.ppt Ver: 000

SCHUYLKILL RIVER

58-33-2
PHILADELPHIA & READING RAILROAD COMPANY



LOCATION MAP
SCALE: 1"=1000'

SCALE: 1"=1000'

ZONING REQUIREMENTS

SM-1 SUBURBAN METROPOLITAN DISTRICT

SALE DISTRICT	AREA, WIDTH AND YARD REGULATIONS:	REQUIRED	PROVIDED
	MINIMUM LOT AREA	1 ACRES	7.722 ACRES (SH-1 PROPERTY OF PARCEL)
FRONT YARD	40'	150'	150'
SIDE YARD	15' MIN/40' ACOR	15'	20'
REAR YARD	20'	20'	20'
BUILDING AREA	500%	5.23% (BUILDING FOOTPRINT)	5.23% (BUILDING FOOTPRINT)
LOTS NEAR RESIDENTIAL DISTRICTS	150'	150'	150'
			AREA = 18,460 S.F. AREA = 65,950 S.F.

NOTI

HEIGHT REGULATIONS	50'	50
MAXIMUM HEIGHT OF BUILDINGS AND OTHER STRUCTURES ERECTED OR ENLARGED IN THIS DISTRICT SHALL BE 50 FEET, EXCEPT THAT SUCH HEIGHT MAY BE INCREASED TO A MAX. OF 65 FEET, PROVIDED THAT FOR EVERY FOOT OF HEIGHT IN EXCESS OF 50 FEET, THERE SHALL BE ADDED TO EACH YARD REQUIREMENT TWO CORRESPONDING FEET OF WIDTH OR DEPTH.		

ALL AREAS DENOTED BY THE FRONT LOT LINE FOR THE ENTIRE LENGTH THEREOF AND ALL AREA DENOTED BY ANY LOT LINE ABUTTING AN AGRICULTURAL OR RESIDENTIAL DISTRICT SHALL BE EFFECTIVELY SCREENED BY A BUFFER OF NOT LESS THAN 40 FEET IN WIDTH. SUCH PLANTING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF 16S-217.1 HEREIN.

GREEN AREA MIN. REQUIREMENTS	REQUIRED	PROVIDED
GREEN AREA	15%	72.31%

PARKING REQUIREMENTS

HOTEL OR MOTEL: ONE SPACE PER ROOM PLUS ONE SPACE FOR EACH TWO EMPLOYEES ON LARGEST SHIFT.

PARKING REQUIREMENTS: HOTEL USE

(1) SPACE PER UNIT + (1) SPACE FOR EVERY (2) EMPLOYEES ON THE LARGEST SHIFT

112 UNITS x 1 = 112 PARKING SPACES REQUIRED

20 EMPLOYEES

HOTEL PARKING REQUIRED

112 + 10 = 122

LOADING REQUIRED	122 SPACES
PARKING SHOWN	122 SPACES

GENERAL NOTES:

1. BOUNDARY SURVEY BY (OWNED BY) WASH AND ASSOCIATES, INC. (EWVA) IN ACCORDANCE WITH DESCRIPTION CONTAINED IN DEED BOOK 5717, PAGE 125, DATED 1998, AND DEED BOOK 5718, PAGE 125, DATED 2008 BY EARTH DESIGN GROUP, EWVA SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE REPORT.
2. TOTAL TRACT AREA: 22.826 AC.
3. TOPOGRAHY WAS PHOTOGRAMMETRICALLY COMPLETED DECEMBER, 2011 BY EARTH DESIGN GROUP, INC. (EDG) AND THE RESULTS ARE CONTAINED BY AND SUPERIMPOSED WITH GROUND SURVEYS BY EWVA.
4. PROJECT BENCH MARK IS DESIGNATED AS MGS NO. 6V 1854 , (0.9 MI. EAST ALONG RENDING CO. RAILROAD FROM POINT KENNEDY STATION, BENCH MARK 22.67 SOUTH OF THE SOUTH END OF THE SOUTH LEG OF MAIN LINE TRACKS) ELEVATION: 83.57, DATUM NAVD 88. THE LOCAL BENCHMARK IS THE ELEVATION OF 128.10 REFLECTS THE NAVD 88 DATUM.
5. THE PROPOSED DEVELOPMENT/USES WILL UTILIZE THE PUBLIC WATER AND SEWERAGE SYSTEMS.
6. THE PORTION OF THE SITE THAT HAS CONTAMINATED SOILS WILL BE DEVELOPED IN ACCORDANCE WITH THE CLEANUP PLAN AS APPROVED BY D.E.P., FEBRUARY, 2012.
8. THE PROPOSED DEVELOPMENT/USES WILL BE CONDUCTED IN CROSS SECTION OF MANULI MILL ROAD AND WEST WALLEY FORGE ROAD AS NOTED IN THE TRAFFIC IMPACT STUDY PREPARED BY TRAFFIC PLANNING AND DESIGN WILL BE COMPLETED BY THE APPLICANT, FROM PERMIT FOR THE REQUIRED IMPROVEMENTS TO THE INTERSECTION.
9. THE STORMWATER MANAGEMENT FACILITIES PROPOSED FOR THIS PROJECT WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER. THE REQUIRED IMPROVEMENTS TO THE TRAFFIC IMPACT STUDY FOR ALTERNATION OF THE FACILITIES.
10. A PLANNET EASEMENT ON THE PROPERTY SHALL BE GRANTED TO THE TOWNSHIP TO ALLOW THE RIGHT BUT NOT OBLIGATION TO ENTER AND IMPROVE THE PROPERTY.
11. IT IS REQUESTED THAT THE USE IN LEU OF OPEN SPACE BE PROVIDED AS STIPULATED IN THE TOWNSHIP CODE SECTION 166-217.4(1).
12. ALL LORNING PROPOSES SHALL BE LESS THAN FULL CUTOFF REQUIREMENTS.
13. (INCLUDING THE COLLECTION PLANS SYSTEM) REQUIRES WRITTEN APPROVAL FROM THE UPPER MERION TOWNSHIP SUPERVISORS.
14. STORMWATER, GEOPHON AND EARTH DISTURBANCE REQUIRES A CLASS B PERMITS FROM THE TOWNSHIP.
15. ALL ELECTRICAL TELEPHONE AND COMMUNICATION SERVICES SHALL BE PROVIDED BY UNDERGROUND CABLE.
16. IRON PINS SHALL BE SET AT LOCATIONS DENOTED BY THE SYMBOL "●".
17. ALL CROWN ROAD ARE TO BE A MINIMUM OF 5 FOOT.
18. THE CROWN ARE TO BE REMOVED DURING THE SITE DEVELOPMENT OF THE PORTION OF THE TRACT.
20. ALL HANDPOLE RAVERS MUST COMPLY WITH ADA DESIGN REQUIREMENTS.

FINAL SITE PLAN

LAND DEVELOPMENT PLAN

MANCILL MILL ROAD COMPANY

UPPER MERION TOWNSHIP

Edward B. Walsh &

CIVIL ENGINEERS & SURVEYORS

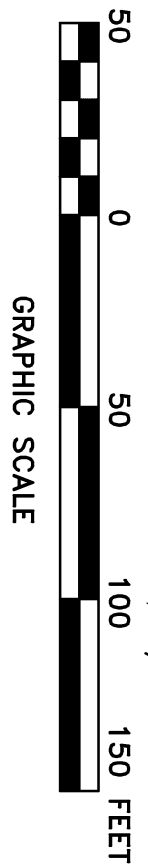
Eaton, Pennsylvania 19341

Fax (610) 903-0080

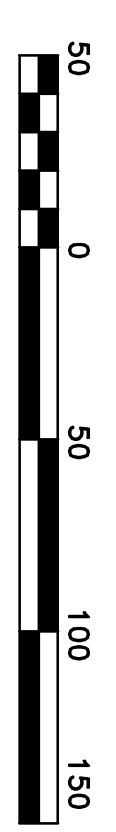
Fax (610) 903-0080

Sheet - 3 of 14

PARCELS NO.58-0013346-00-6 & 58-00-13345-90-7 (PER DEED)




A map of the Schuylkill River area. A dashed line represents the 'EXISTING FEMA 100 YEAR FLOODPLAIN BOUNDARY'. A solid line represents the '3x3' OFFICE'. A north arrow is located in the upper right corner. The text 'SCHUYLKILL RIVER' is written vertically along the river.



LEGEND		
---	400	EXISTING INDEX CONTOUR
----		EXISTING INTERIOR CONTOUR
----	100	PROPOSED CONTOUR
⊞		EXISTING INLET
⊞		PROPOSED STORMSEWER STRUCTURE DESIGNATION
==		EXISTING STORM SEWER PIPE
==		PROPOSED STORM SEWER PIPE
○		EXISTING STORM MANHOLE
●		PROPOSED STORM MANHOLE
⊙		EXISTING SANITARY MANHOLE
S		EXISTING SANITARY SEWER PIPE
FM		SANITARY SEWER FORCE MAIN
W		EXISTING WATER LINE
W		PROPOSED WATER MAIN
----		SOILS LINE
=====		EXISTING CURB
=====		PROPOSED CURB
----		EXISTING PAVING
⊞		LIGHT POLE & FIXTURE
66.68 x		PROPOSED SPOT ELEVATION
TY		EXISTING SIGN
⊙		WATER METER
⊙		WATER VALVE
⊞		PROPOSED FIRE HYDRANT
⊞		PROPOSED D-W ENDWALL
⊞		EXISTING ENDWALL
----		FEMA FLOODPLAIN BOUNDARY
----		EXISTING BUILDINGS
----		PROPOSED BUILDINGS
----		STEEP SLOPES 15%-25%
----		SIGNIFICANT SLOPES >25%
----		CONTAMINATED SOILS BOUNDARY
----		EXISTING EDGE OF WOODLANDS/TREES
----		CONTAMINATED SOILS
⊞	AA/100.00	TEST BORING LOCATION/ DESIGNATION WITH ELEVATION OF TOP OF CONTAMINATED SOIL
----		TOP OF STORMWATER MANAGEMENT SYSTEM BRUN

FINAL GRADING & UTILITIES PLAN

- Gc - GIBRALTER SILT LOAM
- Lab - LANSDALE LOAM, 3 TO 8 PERCENT SLOPES
- Rga - RARITAN SILT LOAM, 0 TO 3 PERCENT SLOPES
- Udb - UDORTHENTS, SHALE AND SANDSTONE, 0 TO 8 PERCENT SLOPES

UPPER MERION TOWNSHIP	MONTGOMERY COUNTY, PA	Project - 3755
Edward B. Walsh & Associates, Inc.		
CIVIL ENGINEERS & SURVEYORS		
125 Douglas Forge Road P.O. Box 100 Phone (610) 903-0060 Fax (610) 903-0080		
Dated: 10/26/2016	File: J:\EN\3755\3755-810.pro	
		Drawn - 7.9-14
		Scale - 1"=50'
		Drawn - SLM
		Checked - A.J.B.
		Sheet - 5 of 14
		Twp. - 000

THE TRACT IS LOCATED IN THE SCHUYLKILL RIVER WATERSHED. THE WATERSHED IS CLASSIFIED AS WMF.

EXISTING FEMA 100 YEAR FLOODPLAIN BOUNDARY

SCHUYLKILL RIVER

PAST AND PRESENT LAND USES:

THE SITE FOR THE PAST FIVE YEARS HAS BEEN AN ABANDONED INDUSTRIAL FACILITY. THE CURRENT DAY TIME SITE WAS AN INDUSTRIAL FACILITY MANUFACTURING REFRACTORY PRODUCTS, UP UNTIL 1982. THERE ARE NO GEOLOGICAL CONDITIONS FOUND ON THE SITE THAT REQUIRE ATTENTION DURING CONSTRUCTION

PROJECT WASTES

1. THE PROJECT WASTES INCLUDE CONCRETE AND BUILDING MATERIALS WHICH MUST BE REMOVED AS PART OF THE PROJECT.
2. THE CONCRETE AND BUILDING MATERIALS MUST BE DISPOSED OF BY TAKING IT TO A DEP APPROVED FACILITY.
3. ANY CONTAMINATED SOILS ARE EXPOSED, THE SOILS MUST BE STOCKPILED. 12" FILTER SOCK MUST BE INSTALLED AROUND STOCKPILE AND A TARP INSTALLED OVER STOCKPILE. DEP MUST BE CONTACTED PRIOR TO THE STOCKPILEING OF THE MATERIAL. THE MATERIAL MUST BE STORED IN SECURE CONTAINERS AND TAKEN TO A DEP APPROVED FACILITY FOR DISPOSAL.

POINT OF INTEREST #1 (SCHUYLKILL RIVER)



APPROXIMATE LOCATION OF CONTAMINATION AREA

PHILADELPHIA & READING RAILROAD COMPANY

58-33-2

PROPOSED RAIN SUB-SURFACE BED #1

GARDEN #2

12,000 GALLON WATER STORAGE TANK

DRAINAGE AREA #2 DISCHARGE

DRAINAGE AREA #1 DISCHARGE

EXISTING CONCRETE CHANNEL & DRAINAGE FEATURE

CONCRETE MONUMENT FOUND

BEGIN SWALE

TEMPORARY DIVERSION SWALE #1

N66°56'37"E 2273.15'

E/98:9'

H/99.2'

J/99.6'

K/99.8'

L/97.6'

M/98.1'

N/98.6'

O/98.1'

P/98.1'

Q/101.0'

R/100.5'

S/107.9'

T/100.7'

U/108.6'

V/106.5'

W/106.5'

X/107.1'

Y/108.3'

Z/109.0'

AA/114.4'

AB/112.3'

AC/117.0'

AD/116.6'

AE/117.1'

AF/116.0'

AG/117.1'

AH/116.6'

AI/117.0'

AJ/114.3'

AK/114.4'

AL/112.3'

AM/117.0'

AN/117.0'

AO/110.9'

AP/111.1'

AQ/110.9'

AR/119.3'

AS/118.7'

AT/119.1'

AU/111.8'

AV/111.8'

AW/111.8'

AX/111.8'

AY/111.8'

AZ/111.8'

BA/115.9'

BB/114.8'

BC/114.8'

BD/114.8'

BE/114.8'

BF/114.8'

BG/114.8'

BH/114.8'

BI/114.8'

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CF/115.9'

CG/115.9'

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GR/115.9'

GS/115.9'

GT/115.9'

GU/115.9'

GV/115.9'

GW/115.9'

GX/115.9'

GY/115.9'

GZ/115.9'

HA/115.9'

HB/115.9'

HC/115.9'

HD/115.9'

HE/115.9'

HF/115.9'

HG/115.9'

HH/115.9'

HI/115.9'

HJ/115.9'

HK/115.9'

HL/115.9'

HM/115.9'

HN/115.9'

HO/115.9'

HP/115.9'

HQ/115.9'

HR/115.9'

HS/115.9'

HT/115.9'

HU/115.9'

HV/115.9'

HW/115.9'

HX/115.9'

HY/115.9'

HZ/115.9'

IA/115.9'

IB/115.9'

IC/115.9'

ID/115.9'

IE/115.9'

IF/115.9'

IG/115.9'

IH/115.9'

II/115.9'

IJ/115.9'

IK/115.9'

IL/115.9'

IM/115.9'

IN/115.9'

IO/115.9'

IP/115.9'

IQ/115.9'

IR/115.9'

IS/115.9'

IT/115.9'

IU/115.9'

IV/115.9'

IW/115.9'

IX/115.9'

IY/115.9'

IZ/115.9'

JA/115.9'

JB/115.9'

JC/115.9'

JD/115.9'

JE/115.9'

JF/115.9'

JG/115.9'

JH/115.9'

JI/115.9'

IJ/115.9'

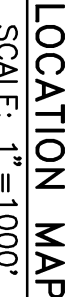
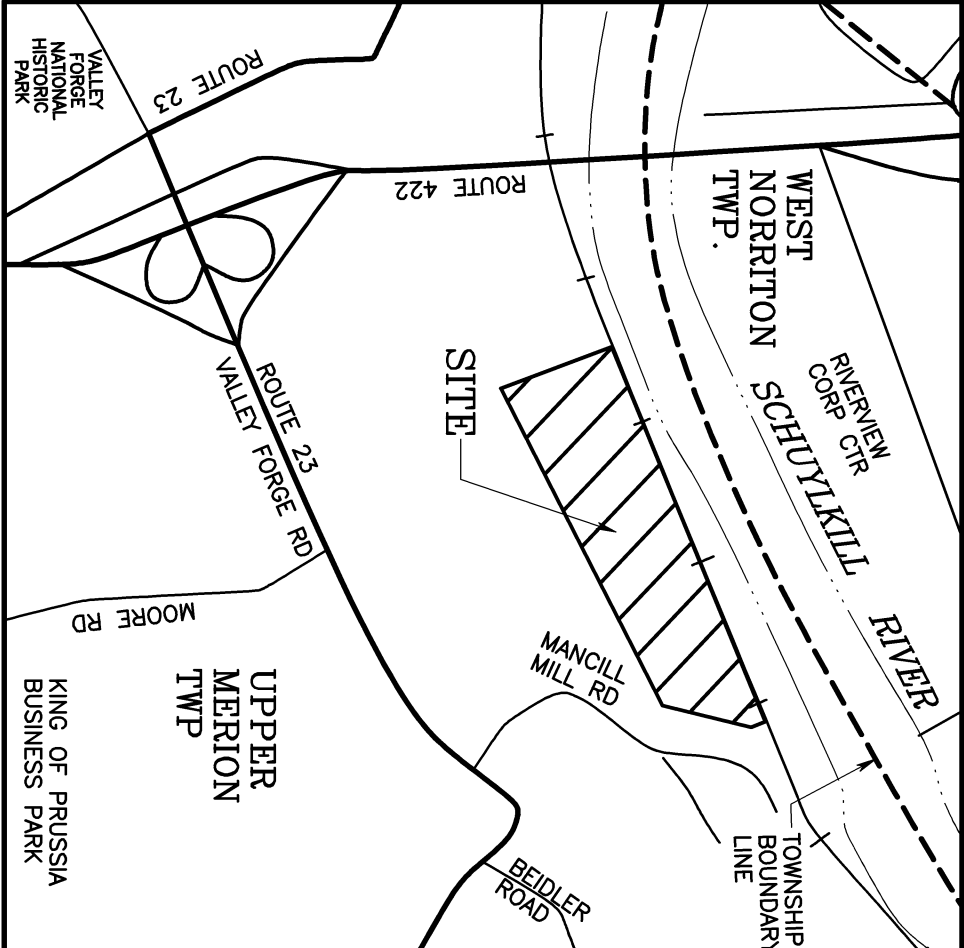
JK/115.9'

KL/115.9'

LM/115.9'

LN/115.9'

WEST
NOBPTON
SCHOOL
TOW
BOL



LEGEND	
————— 40 —————	EXISTING INTERIOR CONTIGR
————— 60 —————	EXISTING INTERIOR CONTIGR
————— 80 —————	PROPOSED CONTIGR
————— 100 —————	PROPOSED INLET
①	PROPOSED STORM SEWER STRUCTURE NUMBER
————— 120 —————	EXISTING STORM SEWER PIPE
————— 140 —————	PROPOSED STORM SEWER PIPE
————— 160 —————	PROPOSED STORM MANHOLE
●	PROPOSED STORM MANHOLE
————— 180 —————	EXISTING SANITARY MANHOLE
————— 200 —————	EXISTING SANITARY SEWER PIPE
————— 220 —————	EXISTING SANITARY SEWER MANHOLE
————— 240 —————	EXISTING SANITARY SEWER MANHOLE
————— 260 —————	EXISTING WATER MAIN
————— 280 —————	PROPOSED WATER MAIN
————— 300 —————	EXISTING CURB
————— 320 —————	PROPOSED CURB
————— 340 —————	EXISTING PAVING
————— 360 —————	EXISTING PAVEMENT
————— 380 —————	PROPOSED SPOT ELEVATION
————— 400 —————	EXISTING SIGN
————— 420 —————	WATER METER
————— 440 —————	WATER VALVE

PROPOSED FIRE HYDRANT

SOIL AMENDMENT CONSTRUCTION/
INSTALLATION SEQUENCE

1. THE PROJECT WASTES INCLUDE CONCRETE AND BUILDING MATERIALS MUST BE REMOVED AS PART OF THE PROJECT.
2. THE CONCRETE AND BUILDING MATERIALS MUST BE DISPOSED AT A DEF. APPROVED FACILITY.
3. IF DURING CONSTRUCTION, ANY CONTAMINATED SOILS ARE EXPOSED, THE SOILS MUST BE STOCKPILED IN A UTILITY SHED MUST BE INSTALLED AND STOCKPILED IN ORDER TO PROVIDE DIRECTION ON FURTHER HANDLING OF MATERIAL. IF MIXED WITH WATER, THE MATERIAL MUST BE STORED IN SECURED AND TAKEN TO A DEF. APPROVED FACILITY FOR DISPOSAL.

CONSTRUCTION DEBRIS HANDLING:

1. CONSTRUCTION DEBRIS MUST BE STORED IN REEFER CONTAINERS ACCESSIBLE LOCATIONS.
 2. NO DEBRIS MAY BE STORED/LEFT IN LOW AREAS OR DEPRESSIONS
 3. NO FUEL MAY BE STORED ON SITE.
- ## **BMP CONSTRUCTION INSPECTIONS**
1. THE PAUL GREEN UNDERGROUND PIPE STORAGE SYSTEM, AND TANKS/STORAGE ARE ON THE SAME BLOCK THAT MUST BE INSPECTED BY A PROFESSIONAL ENGINEER.
- INSPECTOR: EMERSON MUELLER ADVANCE FOR INSPECTION OF THE PAUL GREEN STORAGE.

SELECTION SEQUENCE

- POST C
- | |
|---------|
| 4 |
| 9-21-16 |

PAST AND PRESENT LAND USES:

THE TRACT IS LOCATED IN THE SCHULTIKILL RIVER WATERSHED. THE WATERSHED IS CLASSIFIED AS WWP (C)BFS.

UPPER MERION TOWNSHIP
MONTGOMERY COUNTY, PA

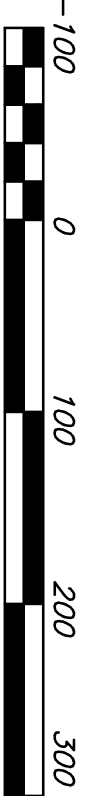
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

*125 Doulin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0050
Fax (610) 903-0080*

 **EBW**

*Project— 3735
Date— 7-9-14
Scale— 1"=100'
Drawn— SLM
Checked— A.J.B.*

74.05' ±



A NOTICE OF TERMINATION (NOT) WILL BE REQUIRED TO BE SUBMITTED.
PRIOR TO ACCEPTING THE NOT THE DEPARTMENT AND/OR CONSERVATION

[illegible]

THE PCSWM PLAN/DESIGN PROVIDES THE FOLLOWING:

- [illegible]

SOIL USE TABLE

SOIL SYMBOL	SOIL TYPE	DEPTH TO INFILTRATION POTENTIAL	DEPTH TO SEASONALLY HIGH WATER TABLE	HYDROLOGIC SOIL GROUP	LOW STRENGTH/ UNDESIRABLE PHASE	SOIL OF TROPICAL OR SUBTROPICAL	POOR SOURCE OF TROPICAL	HAZARDOUS SOIL	HIGHLY AFFECTED
OC	CHALK/CLAY	HIGH	3-5 FT.	5-6 FT.	B	YES	YES	YES	NO
LB3	LANSEDALE	LOW	6+ FT.	3.5-5 FT.	B	YES	NO	YES	YES
BA4	BARNETT	LOW	6'-13"	60'-90"	C	NO	YES	YES	YES
UNIDENTIFIED	HIGH	3+ FT.	20'-40"	B/D	YES	YES	NO	YES	YES

STORMWATER BMP INFORMATION

[illegible]

MAINTENANCE OF STORMWATER FACILITIES:

UNDERGROUND PIPE STORAGE/STORMWATER DETENTION FACILITY

1. ALL SEDIMENT MUST BE REMOVED WHEN NOTED IN THE BOTTOM OF STRUCTURES. SEDIMENT REMOVAL MUST BE PERFORMED WHEN IT HAS NO STANDING WATER. ACCUMULATED SEDIMENT MUST BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER. IF THE AMOUNT OF SEDIMENT REQUIRES ITS TRANSPORT TO ANOTHER SITE, THE SITE MUST HAVE A PROPOSED DESTINATION.

REQUIREMENTS

PCSM SHORT TERM OPERATIONS AND MAINTENANCE

REQUIREMENTS

SOIL AMENDMENT CONSTRUCTION/
INSTALLATION SEQUENCE

1. THE PROJECT WASTES INCLUDE CONCRETE AND BUILDING MATERIALS MUST BE REMOVED AS PART OF THE PROJECT.
2. THE CONCRETE AND BUILDING MATERIALS MUST BE DISPOSED AT A DEF. APPROVED FACILITY.
3. IF DURING CONSTRUCTION, ANY CONTAMINATED SOILS ARE EXPOSED, THE SOILS MUST BE STOCKPILED IN A UTILITY SHED MUST BE INSTALLED AND STOCKPILED IN A UTILITY SHED STOCKPILED IN A UTILITY SHED TO PROVIDE DIRECTION ON FURTHER HANDLING OF MATERIAL. IF MIXED WITH WATER, THE MATERIAL MUST BE STORED IN SECURED AND TAKEN TO A DEF. APPROVED FACILITY FOR DISPOSAL.

CONSTRUCTION DEBRIS HANDLING:

1. CONSTRUCTION DEBRIS MUST BE STORED IN REEFER CONTAINERS ACCESSIBLE LOCATIONS.
 2. NO DEBRIS MAY BE STORED/LEFT IN LOW AREAS OR DEPRESSIONS
 3. NO FUEL MAY BE STORED ON SITE.
- ## **BMP CONSTRUCTION INSPECTIONS**
1. THE PAUL GREEN UNDERGROUND PIPE STORAGE SYSTEM, AND TANKS/STORAGE ARE ON THE SAME BLOCK THAT MUST BE INSPECTED BY A PROFESSIONAL ENGINEER.
- INSPECTOR: EMILIANA MATEO INSPECTED IN ADVANCE FOR INSPECTION OF THE PAUL GREEN STORAGE.

ADDITIONAL INFORMATION

- POST C
- | | |
|---|---------|
| 4 | 9-21-16 |
|---|---------|

PAST AND PRESENT LAND USES:

THE TRACT IS LOCATED IN THE SCHULTIKILL RIVER WATERSHED. THE WATERSHED IS CLASSIFIED AS WWF/CBFS. THIS PORTION OF THE WATERSHED IS IMPAIRED WITH

UPPER MERION TOWNSHIP
MONTGOMERY COUNTY, PA

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
125 Doulin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0050
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 **EBW**

*Project— 3735
Date— 7-9-14
Scale— 1"=100'
Drawn— SJM
Checked— A.J.B.*

74.05' ±



UPPER MERION TOWNSHIP : LANDSCAPE COMPLIANCE CHART

Chapter 145. Subdivision of Land

§145-24.1.D. Parking Lot Landscaping:
One (1) tree for every ten parking stalls.

Each planting island shall contain one shade tree, plus shrubs, plus low growing groundcovers to cover the entire area.

122 Parking spaces / 10 = 12.2 Trees
+ Shrubs & Groundcovers

12 Shade Trees
+ Shrubs &
Groundcover

16 Shade Trees
27 Shrubs
130 Groundcover Shrubs

§145-24.1.E. Street Trees:
One (1) tree per 40 linear feet of frontage
-30 L.F. of road frontage
along Mancil Mill Road

1 Street Tree

1 Street Tree

§145-24.1.F. Stormwater Basins:
Two (2) trees and ten (10) shrubs per
100 linear feet of basin perimeter

Basin #1 - 450 L.F. = 9 Trees & 45 Shrubs

9 Trees
45 Shrubs

9 Trees
45 Shrubs

§145-24.1.G. Buffers and Screens.
(3)(a) A buffer of not less than 15 ft nor more than 50 ft in width shall be established along property lines, unless otherwise specified in the Zoning Ordinance, Ch. 165.

§165-140. Buffers
All areas delimited by the front lot line shall be provided with a buffer of at least 40 ft in width.
(3)(c) The buffer area shall consist of tall canopy trees, small understory trees, shrubs with grass or ground cover.
(3)(e)[1][a] For every 100 lf of property line to be buffered, the following shall be required:

Proposed Use: Commercial/Industrial (SM-1)
Adjacent Use: Commercial/Industrial (SM-1)
Type of Buffer Required: Softening

South and East Property Line(s): 1,109 Linear Feet
1,109 / 100 LF = 11.09 x 1 Canopy Tree = 11.09
1,109 / 100 LF = 11.09 x 2 Understory Trees = 22.18
1,109 / 100 LF = 11.09 x 2 Evergreen Trees = 22.18

11 Canopy Trees
22 Understory Trees
22 Evergreen Trees

12 Canopy Trees
24 Understory Trees
27 Evergreen Trees

Shrubs with grass or ground cover

No specific quantities

35 Evergreen Shrubs
30 Groundcover Shrubs

§145-24.1.H. Building Plantings.
One (1) canopy tree or two (2) understory trees shall be planted for every 50 linear feet of the proposed building perimeter. Five (5) deciduous or evergreen shrubs shall be planted for every 20 linear feet of the proposed building perimeter.

Hotel - 650' linear feet of combined building perimeter

754' / 50' = 15.08 Canopy Trees
754' / 20' x 5 = 188.5 Shrubs

15 Canopy Trees
189 Shrubs

13 Canopy Trees
189 Shrubs
5 Evergreen Trees

§145-24.1.K(4). Design Criteria for Tree Species Variety

Number of Trees: 107
Minimum Number of Tree Species: 6
Maximum % of Any One Species
20 P. omorika / 107 Total Trees = 18.7%

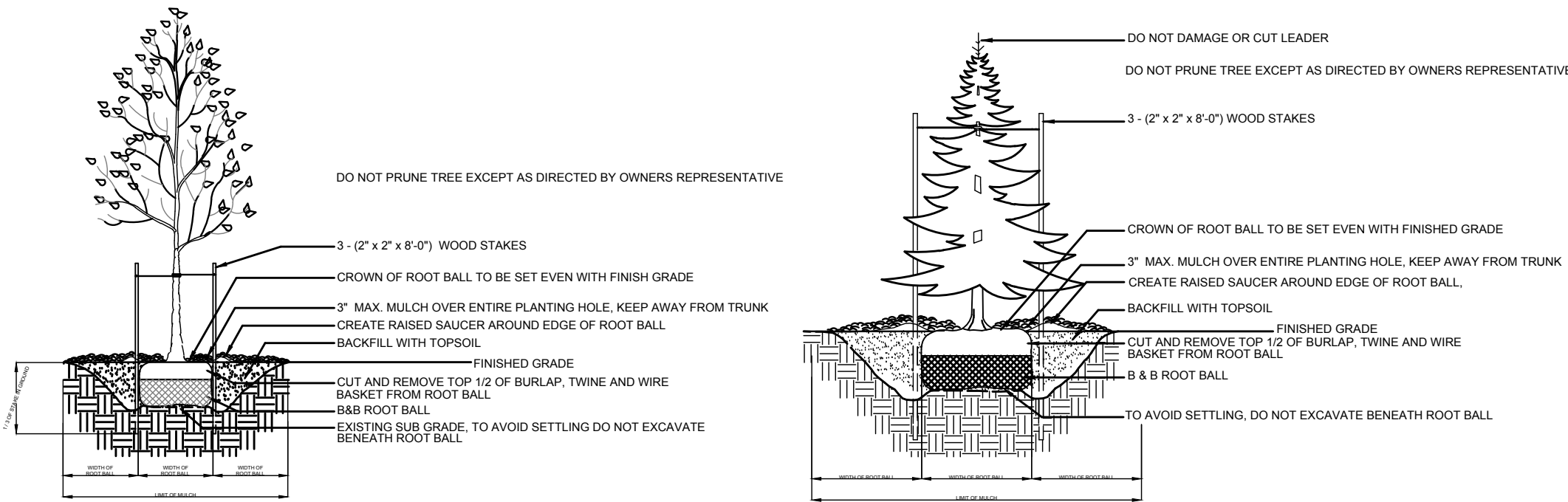
6 Tree Species

12 Tree Species

20% Max

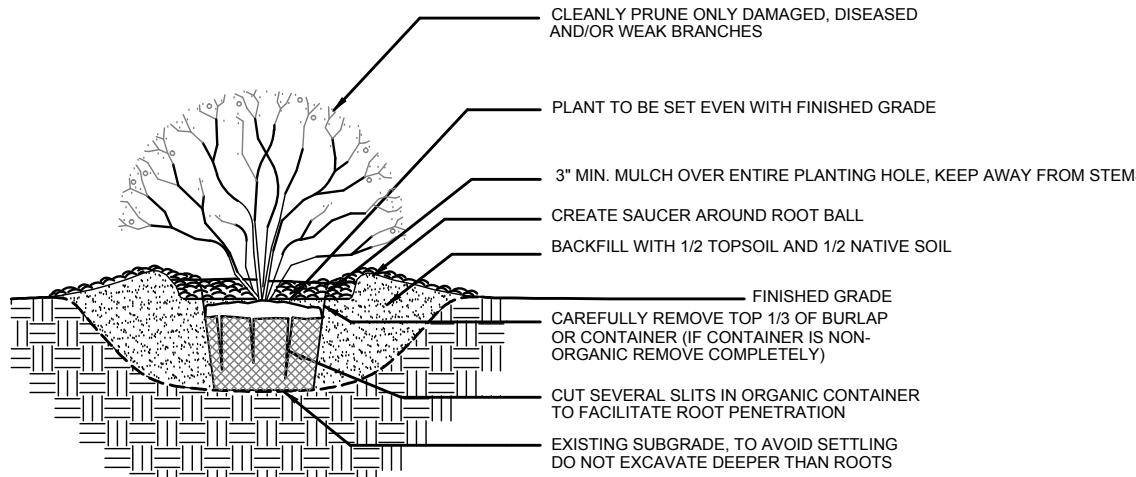
19%

NOTES:
1. THIS PLAN TO BE USED FOR LANDSCAPE PURPOSES ONLY.
2. SEE SHEET LP-1 FOR OVERALL LANDSCAPE PLAN.



TYPICAL DECIDUOUS TREE PLANTING DETAIL

TYPICAL EVERGREEN TREE PLANTING DETAIL



TYPICAL SHRUB PLANTING DETAIL

SEED MIX SPECIFICATION FOR RAIN GARDEN - ERNMX 180

%	Common Name	Scientific Name
22%	Little Bluestem, FIG PA Ecotype	(Schizachyrium scoparium, FIG PA Ecotype)
14%	River Oats, PA/VA Ecotype blend	(Chasmanthium latifolium, PA/VA Ecotype blend)
10%	Riverbank Wild Rye, PA Ecotype	(Elymus riparius, PA Ecotype)
5%	Black Eyed Susan, CP NC Ecotype	(Rudbeckia hirta, CP NC Ecotype)
5%	Marsh (Dense) Blazing Star (Spiked Gayfeather)	(Liatris spicata)
5%	Purple Coneflower	(Echinacea purpurea)
5%	Fox Sedge, PA Ecotype	(Carex vulpinoidea, PA Ecotype)
5%	Squarrose Sedge, VA Ecotype	(Carex squarrosa, VA Ecotype)
4%	Wild Senna, VA & WV Ecotype	(Senna hebecarpa (Cassia h.), VA & WV Ecotype)
4%	Tall White Beard Tongue, PA Ecotype	(Penstemon digitalis, PA Ecotype)
3%	Golden Alexanders	(Zizia aurea)
2%	Lance Leaved Coreopsis, CP NC Ecotype	(Coreopsis lanceolata, CP NC Ecotype)
2%	Blue Vervain	(Verbena hastata)
2%	Swamp Milkweed, WI Ecotype	(Asclepias incarnata, WI Ecotype)
2%	Purple Bergamot, PA Ecotype	(Monarda media, PA Ecotype)
2%	Blue False Indigo, S WV Ecotype	(Baptisia australis, S WV Ecotype)
2%	New England Aster, PA Ecotype	(Aster novae-angliae (Symphyotrichum n.), PA Ecotype)
2%	Big Bluestem, 'Niagara'	(Andropogon gerardii, 'Niagara')
2%	Ohio Spiderwort, IA Ecotype	(Tradescantia ohioensis, IA Ecotype)
1%	Rough Avens, PA Ecotype	(Geum laciniatum, PA Ecotype)
1%	Autumn Bentgrass, APB	(Agrostis perennans, APB)
Total: 100%		

- Notes:
1. Recommended coverage is 15lbs per acre.
 2. Seed mix can be purchased from Ernst Conservation Seeds, Meadville PA 16335, 1 (800) 873-3321
 3. Hand seeding is recommended and should take place between April 1st and May 15th or between September 1st and October 15th.
 4. Immediately prior to seeding the soil is to be prepared so as to be free of large clods, evenly smooth, and level. A shallow tilling to a depth of 2 inches is acceptable to break up soils in which the surface has become crusted.
 5. Planting areas shall be soaked to maintain a consistent level of moisture for at least four (4) to six (6) weeks after seeding.
 6. After hand seeding, each area is to be rolled to push the seeds into firm contact with the soil and firm the seedbed. A firm seedbed is critical to proper seedling growth. Do not roll the site when the soil is wet. Wait until the soil is drier to avoid compaction. Alternatively a cultipaker could be used to ensure soil to seed contact. If seeding in the fall, this step is not required as the cumulative effect of rain and snow with numerous freeze/thaw cycles will provide the necessary soil to seed contact.
 7. The seeding is to be mulched with North American Green S-150 BN (biodegradable erosion blanket) and secured with Bio-stakes (biodegradable anchors).

TOWNSHIP PLANT SCHEDULE

Quantity	Symbol	Scientific Name	Common Name	Planting Size
Parking Lot Landscaping				
8	⊕	Nyssa sylvatica	Blackgum	2 1/2" cal. min., 12-14'ht., 6-7"sp., B&B
6	⊖	Zelkova serrata	Japanese Zelkova	2 1/2" cal. min., 12-14'ht., 6-7"sp., B&B
2	⊙	Acer rubrum	Red Maple	2 1/2" cal. min., 12-14'ht., 6-7"sp., B&B
27	⊗	Taxus x media 'Densiformis'	Dense Spreading Yew	30" ht. min., 15-18" sp., Cont.
130	⊘	Juniperus conferta 'Blue Pacific'	Blue Pacific Shore Juniper	#2 Container
Buffer Landscaping				
3	⊕	Acer saccharinum	Sugar Maple	2 1/2" cal. min., 12-14'ht., 6-7"sp., B&B
3	⊖	Liriodendron tulipifera	Tulip Poplar	2 1/2" cal. min., 12-14'ht., 6-7"sp., B&B
6	⊙	Quercus phellos	Willow Oak	2 1/2" cal. min., 12-14'ht., 6-7"sp., B&B
15	⊗	Picea omorika	Serbian Spruce	8' ht. min., 4-5' sp., B&B
12	⊗	Picea abies	Norway Spruce	8' ht. min., 4-5' sp., B&B
12	⊗	Cercis canadensis	Redbud	8-10' ht., 4-5' sp., B&B
6	⊙	Amelanchier canadensis	Multi-stem Serviceberry	8-10' ht., 4-5' sp., B&B
6	⊗	Cornus florida	Flowering Dogwood	8-10' ht., 4-5' sp., B&B
15	⊕	Rhododendron 'White Cascade'	White Cascade Azalea	30" ht. min., 15-18" sp., Cont.
20	⊗	Rhododendron x 'Cunningham's White'	Cunningham's White Rhododendron	30" ht. min., 15-18" sp., Cont.
30	⊕	Cotoneaster horizontalis 'Perpusilla'	Compact Rock Cotoneaster	18" ht. min., 24" sp., Cont.
Street Frontage Landscaping				
1	⊕	Zelkova serrata	Japanese Zelkova	2 1/2" cal. min., 12-14'ht., 6-7"sp., B&B
Building Foundation Landscaping				
6	⊙	Acer rubrum	Red Maple	2 1/2" cal. min., 12-14'ht., 6-7"sp., B&B
9	⊗	Gleditsia triacanthos var. inermis 'Halka'	Halka Thornless Honeylocust	2 1/2" cal. min., 12-14'ht., 6-7"sp., B&B
5	⊗	Picea omorika	Serbian Spruce	8' ht. min., 4-5' sp., B&B
30	⊙	Itea virginica 'Merlot'	Virginia Sweetspire	30" ht. min., 15-18" sp., Cont.
34	⊗	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	30" ht. min., 15-18" sp., Cont.
40	⊗	Ilex glabra 'Compacta'	Compact Inkberry	30" ht. min., 15-18" sp., Cont.
40	⊗	Ilex crenata 'Hellen'	Japanese Holly	30" ht. min., 15-18" sp., Cont.
19	⊕	Cornus sericea 'Bailey'	Bailey's Red Twig Dogwood	30" ht. min., 15-18" sp., Cont.
8	⊕	Rhododendron 'White Cascade'	White Cascade Azalea	30" ht. min., 15-18" sp., Cont.
8	⊗	Rhododendron x 'Cunningham's White'	Cunningham's White Rhododendron	30" ht. min., 15-18" sp., Cont.
10	⊕	Spirea nipponica 'Snowmound'	Snowmound Spirea	30" ht. min., 15-18" sp., Cont.
Detention Basin Landscaping				
5	⊙	Acer rubrum	Red Maple	2 1/2" cal. min., 12-14'ht., 6-7"sp., B&B
4	⊙	Nyssa sylvatica	Blackgum	2 1/2" cal. min., 12-14'ht., 6-7"sp., B&B
10	⊙	Clethra acuminata	Summersweet	30" ht. min., 15-18" sp., Cont.
10	⊕	Cornus sericea 'Bailey'	Bailey's Red Twig Dogwood	30" ht. min., 15-18" sp., Cont.
10	⊗	Ilex glabra	Inkberry	30" ht. min., 15-18" sp., Cont.
15	⊕	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	30" ht. min., 15-18" sp., Cont.
8,927SF	⊗	Ernst Native Detention Area Seed Mix #183	See Detention Seed Mix Note on this Sheet	
Raingardens				
9,400SF	⊗	Ernst Rain Garden Seed Mix #180	See Raingarden Seed Mix Note on this Sheet	
Other Landscaping				
72,000SF	⊗	Seeded Grass Area		

NOTE: ALL DISTURBED AREAS ARE TO BE FINE GRADED, RAKED AND SEEDED. CONTRACTOR IS TO VERIFY SEEDING QUANTITY PRIOR TO BID.

Native Detention Area Mix - Ernst Seed Company - ERNMX-183

Common Name	Scientific Name
25.00% Deer Tongue, 'Tioga'	Panicum clandestinum
20.00% Fox Sedge	Carex vulpinoidea
20.00% Virginia Wild Rye	Elymus virginicus
15.00% Autumn Bentgrass	Agrostis perennans
15.00% Ticlegrass (Rough Bentgrass)	Agrostis scabra
5.00% Path Rush	Juncus tenuis

Site Preparation:
Invasive species, particularly those that will adapt to wet conditions, should be removed or sprayed before they become incorporated into the site. Normal vegetation can be worked into the topsoil, which should be stockpiled until the final grade has been established.

With the engineer's specifications and dimensions in hand, on-site construction of the berm and outlets must be executed carefully in order to maintain structural integrity. The infiltration and plant growth areas should be loose and friable, high in organic matter, and completed without compactions from heavy equipment. By using the "dig and drop" method, one can use an excavator to dig and drop each area of the bottom soil in a loose manner. At this point, one can incorporate lime, composted leaves, and/or grass clippings. The excavation machine does not move over the finished surface, thus avoiding unnecessary compaction. Native vegetation can be planted or seeded over this uneven, absorbent surface.

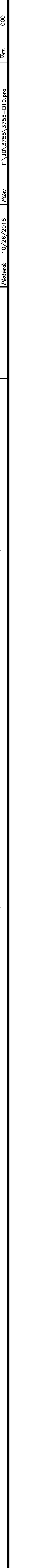
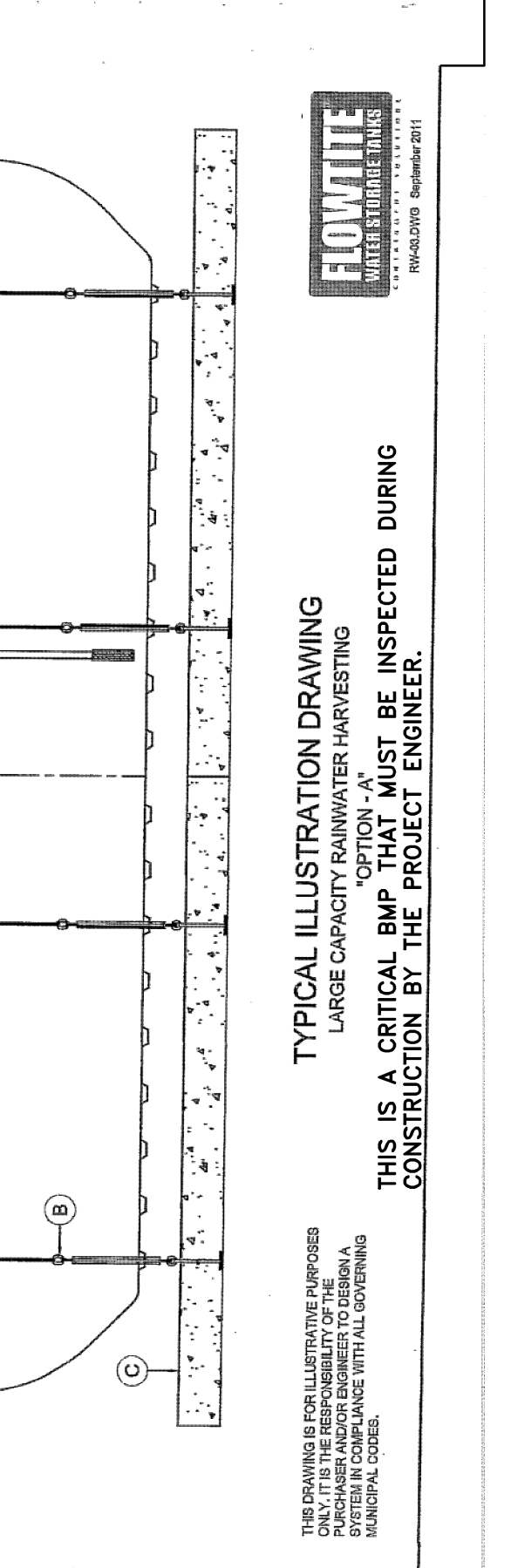
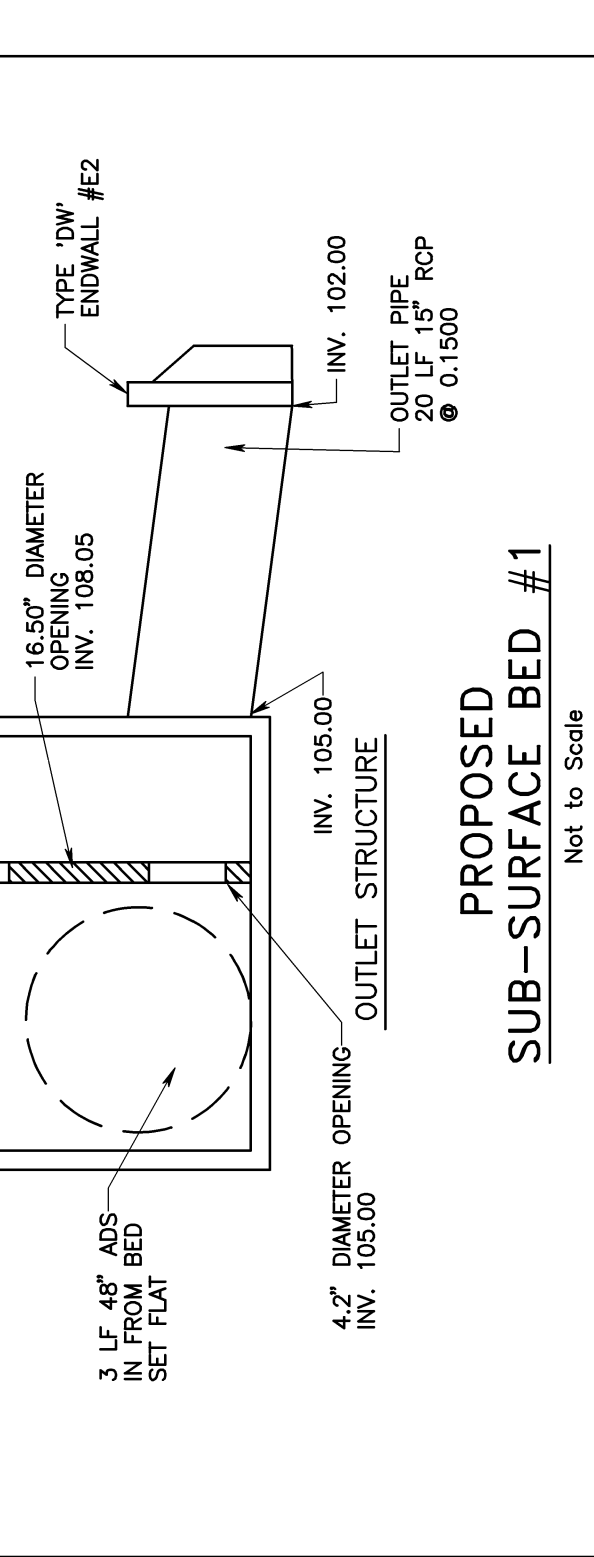
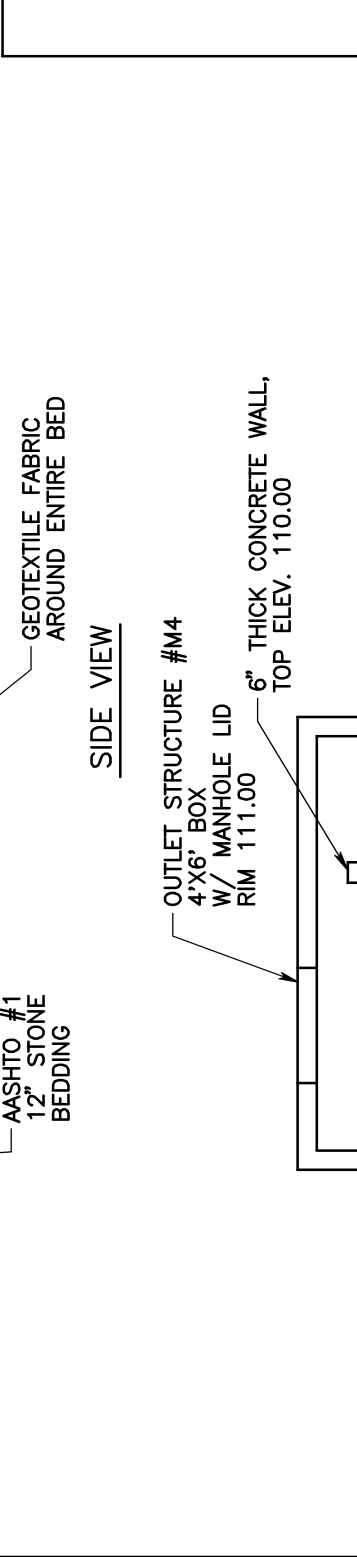
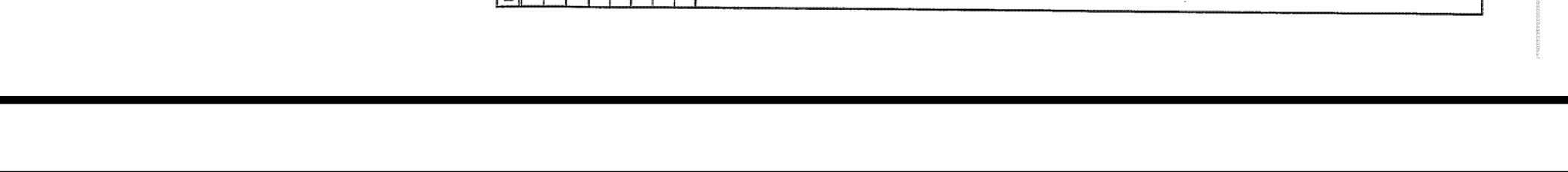
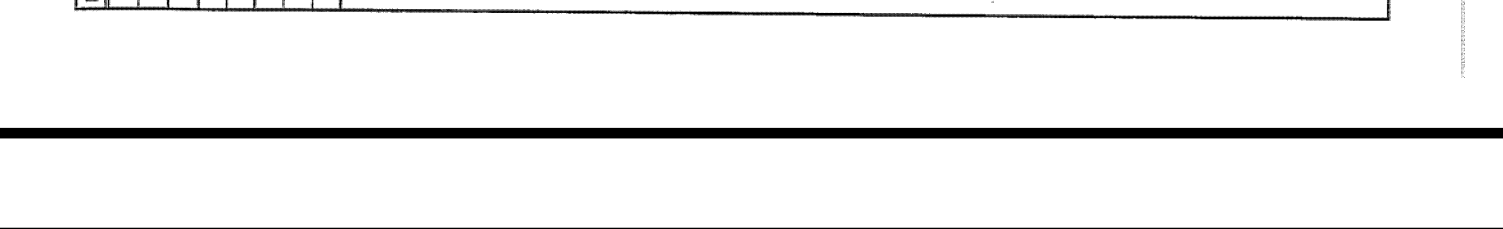
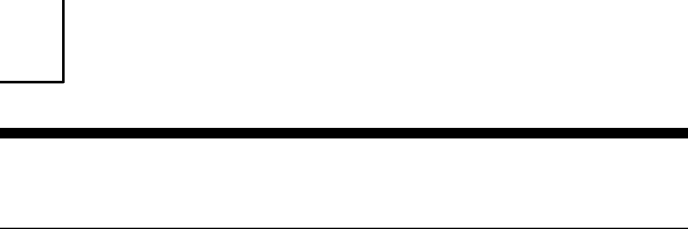
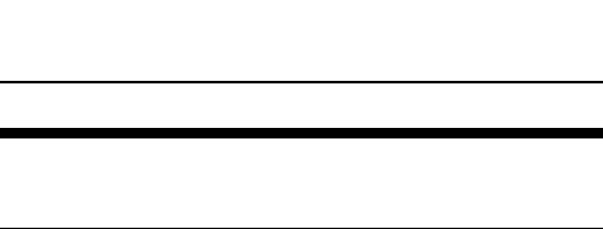
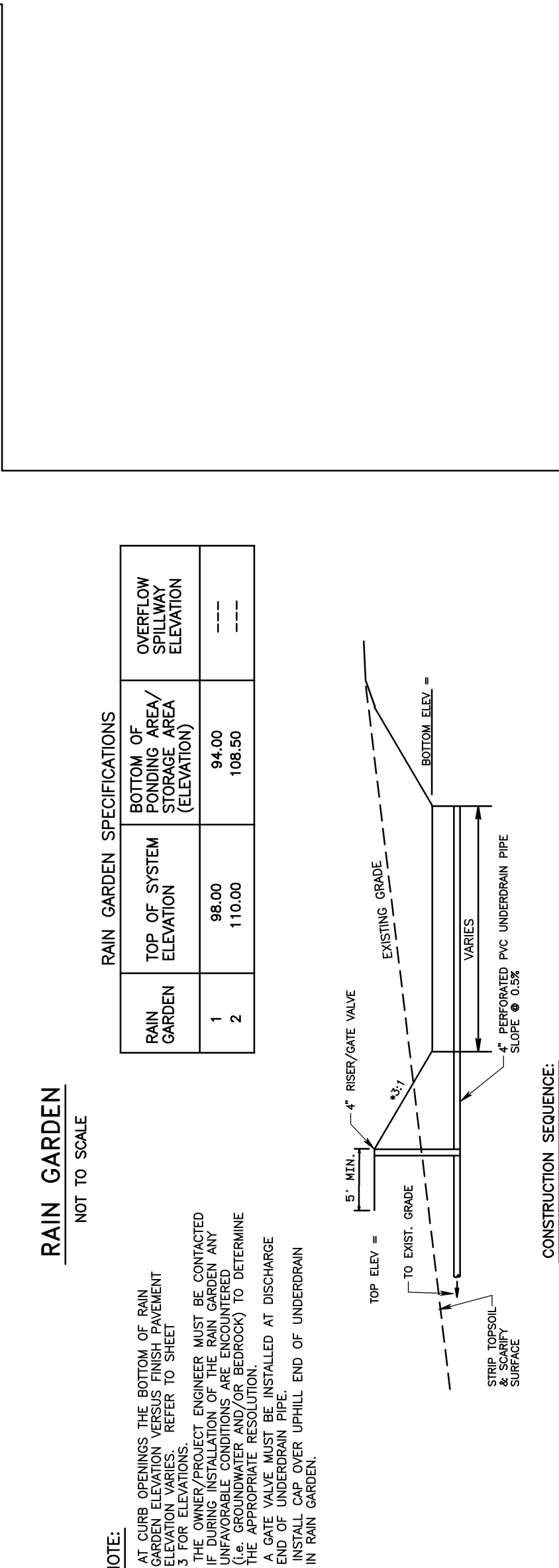
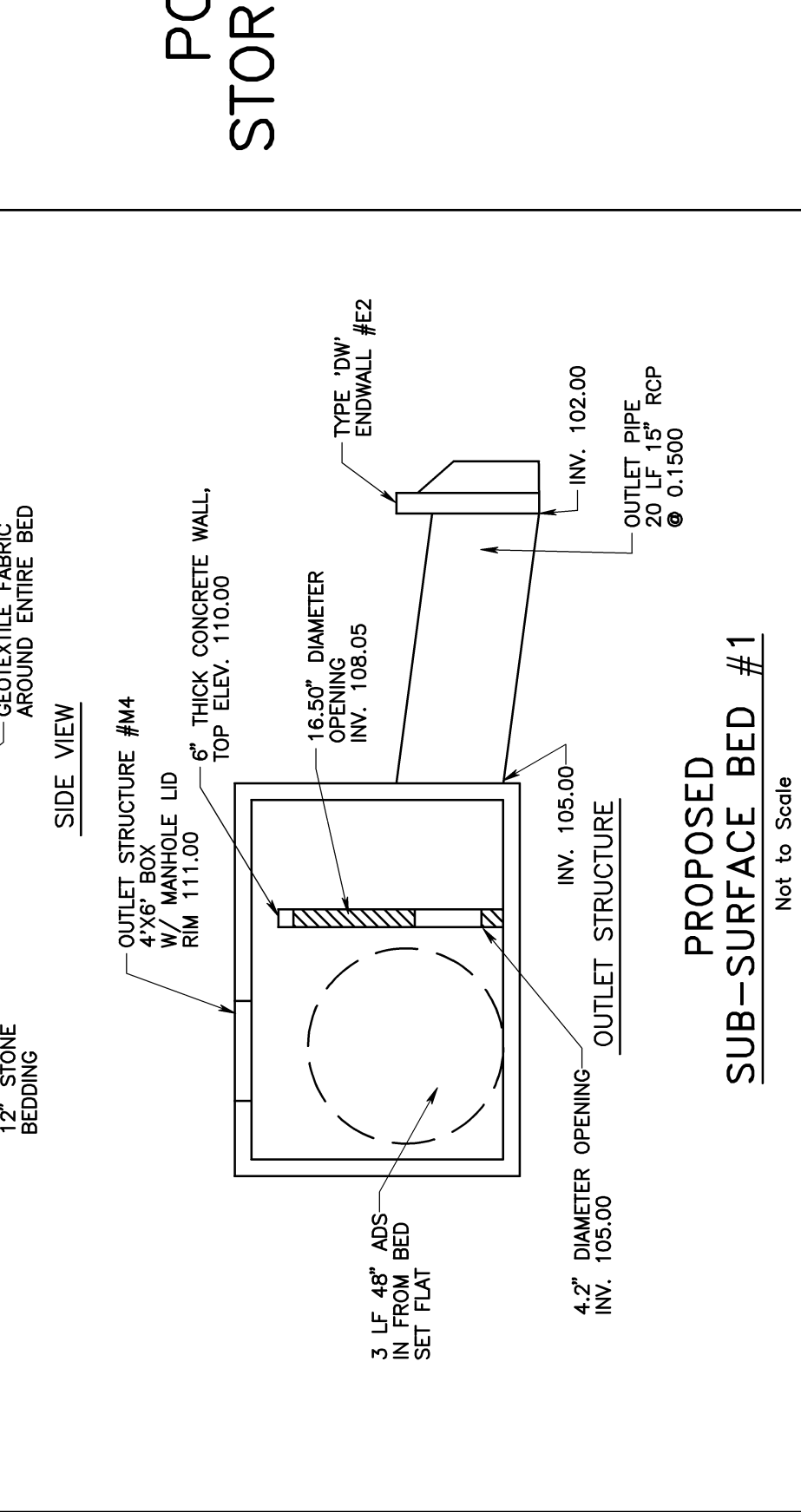
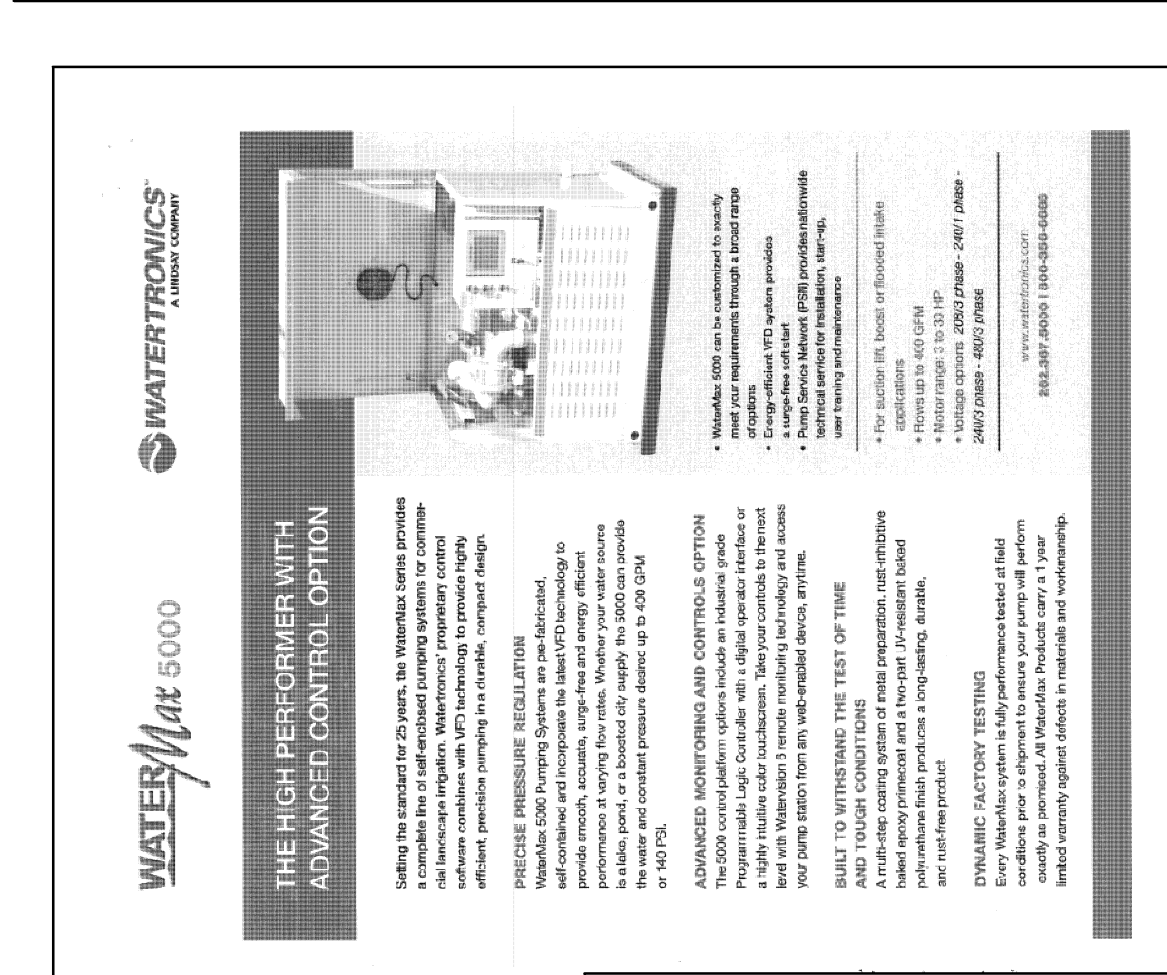
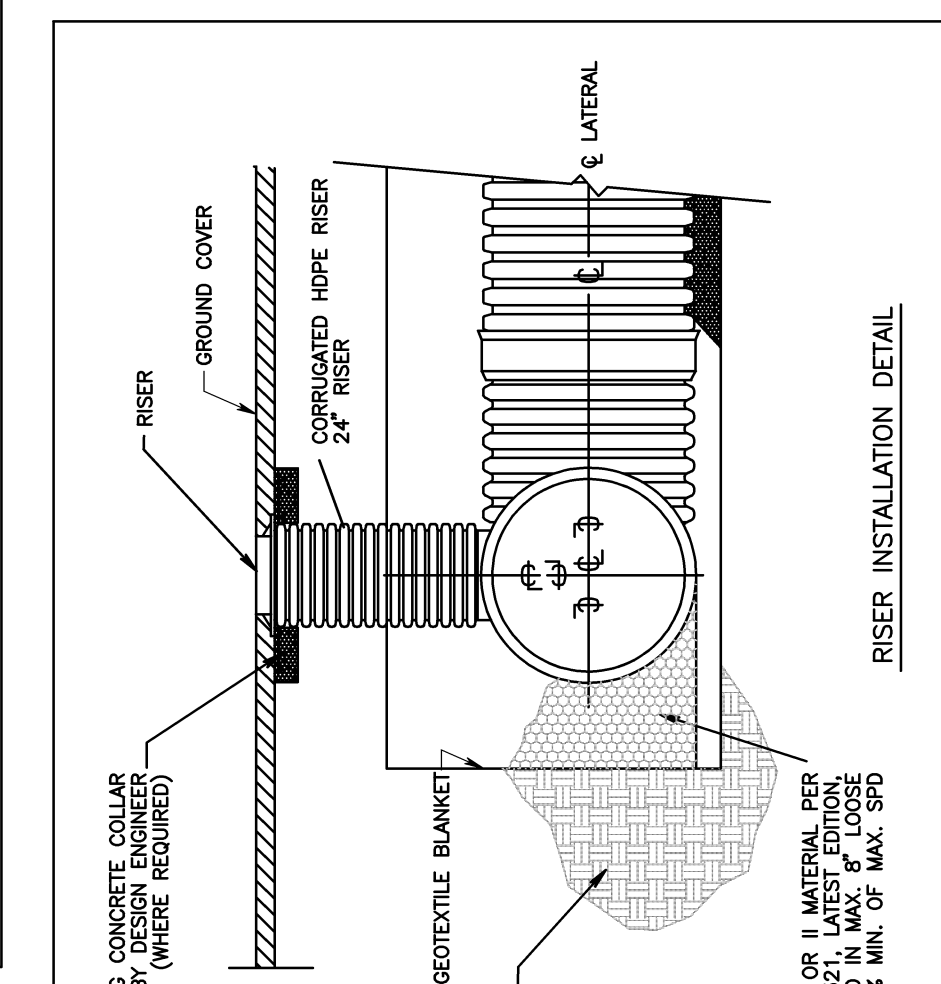
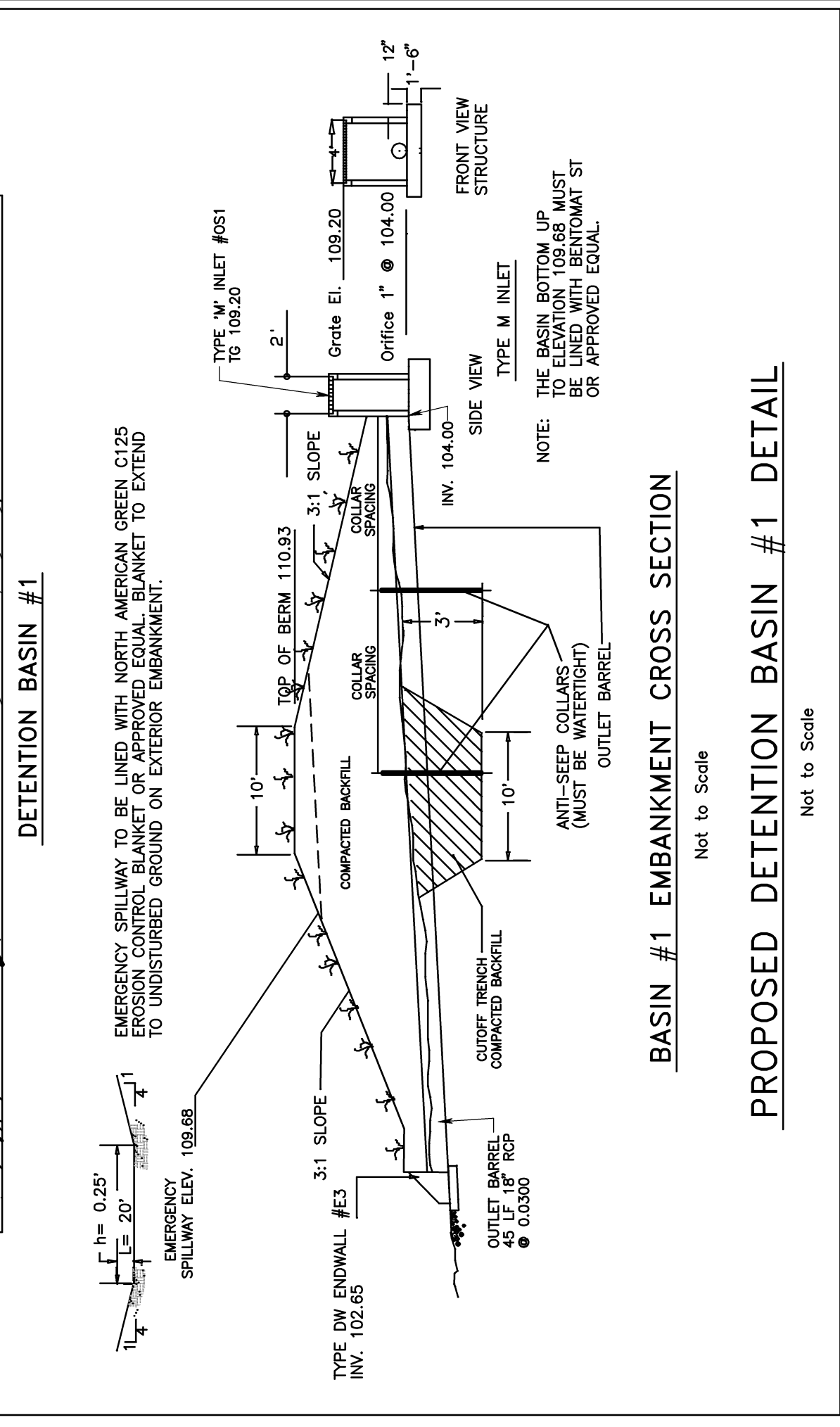
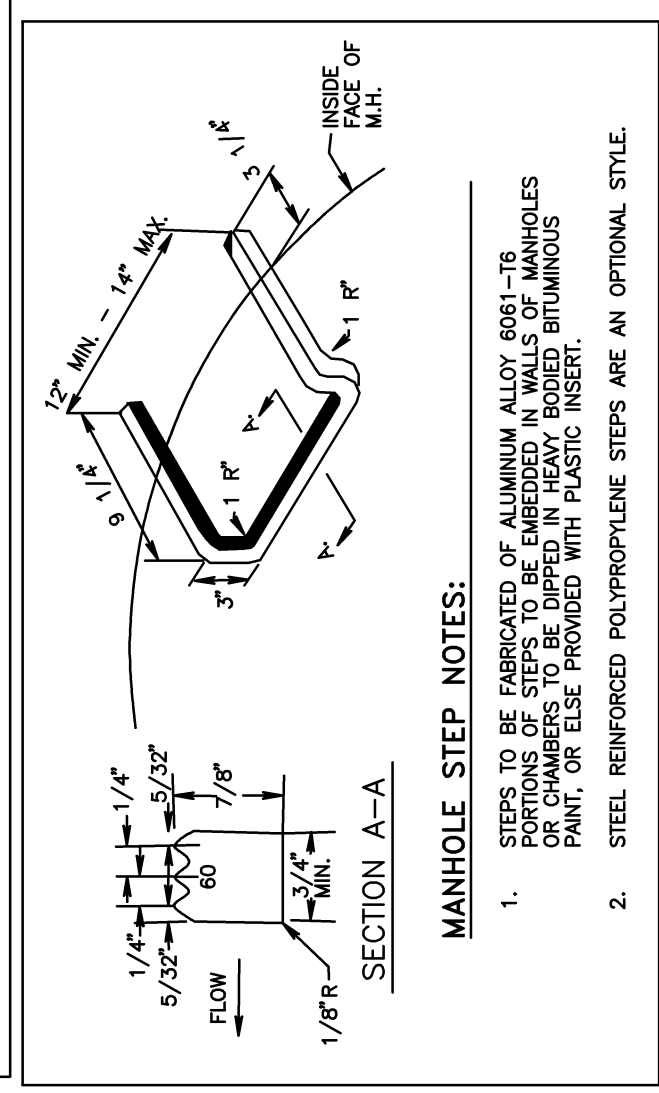
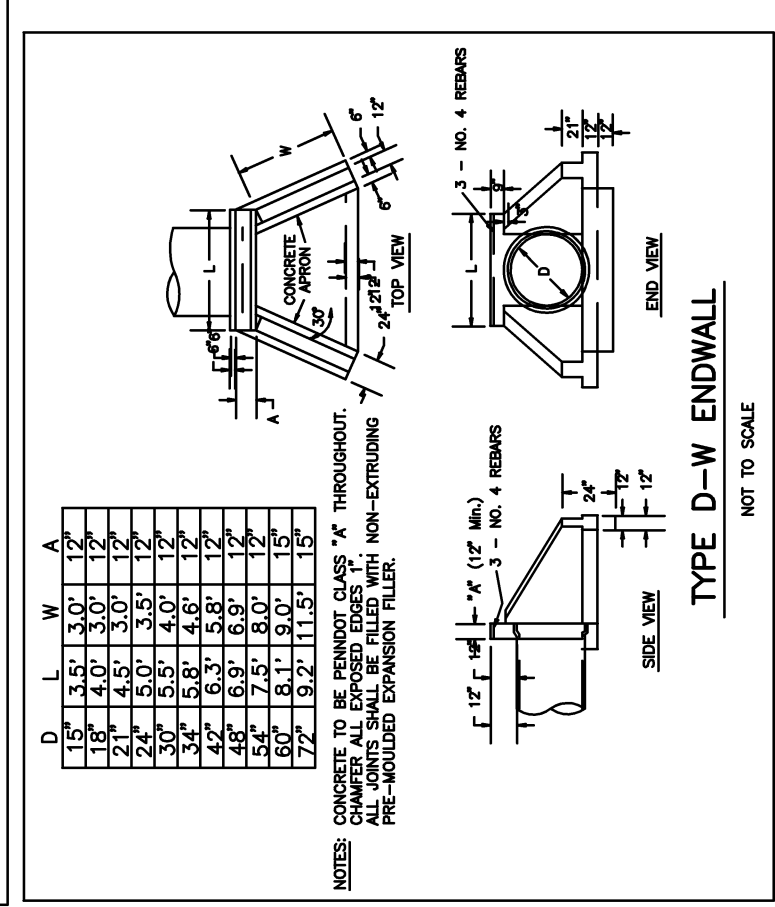
Seeding and Planting Methods:
Seeding and planting should begin immediately upon completion of the structure while the soil is still friable and before invasive weeds emerge. Plan seeding and planting before basin is flooded, or allow the basin to drain to a few inches before seeding. Broadcast seed evenly over each unit by hand seeding or hydroseeding. Seedinf rates are generally low (½ lb per 1,000 sq ft). The use of a seed filler, i.e., PAM-12, can be used to create a mix of 10 lb per 1,000 sq ft (i.e., 9-1/2 lb of PAM-12 mixed with ½ lb of seed), which can be broadcast evenly over the area. Barley, oats, or rye can provide temporary vegetation to protect the soil in storm water management facilities until permanent vegetation can be established. The use of native species; i.e., Virginia Wild Rye, can create an intermediate vegetative cover that succeeds to native long-term vegetation. Straw mulch or straw coconut mats are frequently used to control erosion and protect emerging seedlings from extreme temperatures and drying out. Mulch should be sparse to allow sunlight to reach the ground. Irrigation of seeded areas is of value until seedlings become established.

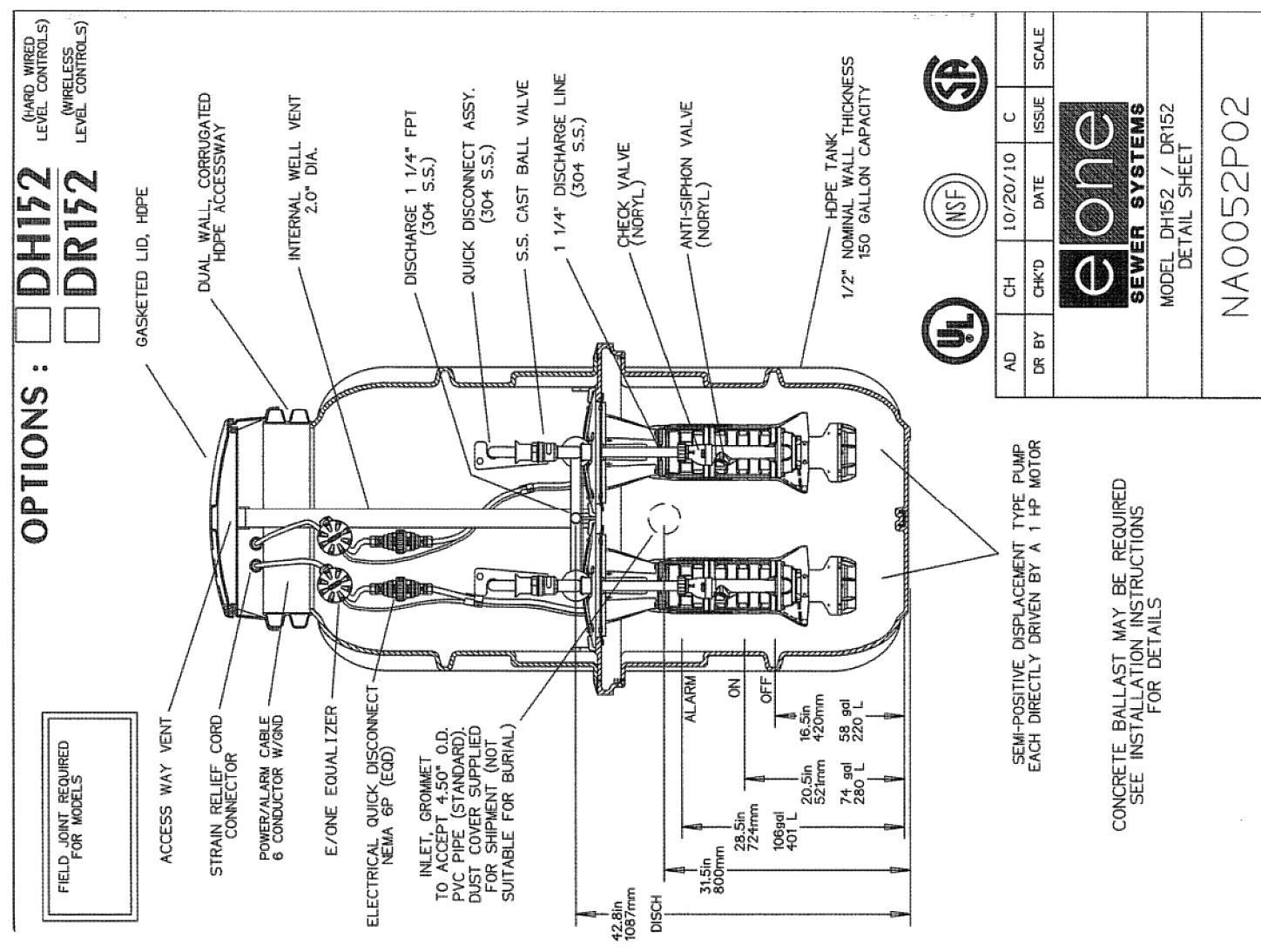
- Notes: 1. Recommended seeding rate is 20 lb per acre, or 1/3-1/2 lb per 1,000 sq ft.
2. Seed mix can be purchased from Ernst Seed Company 1-800-873-3321.



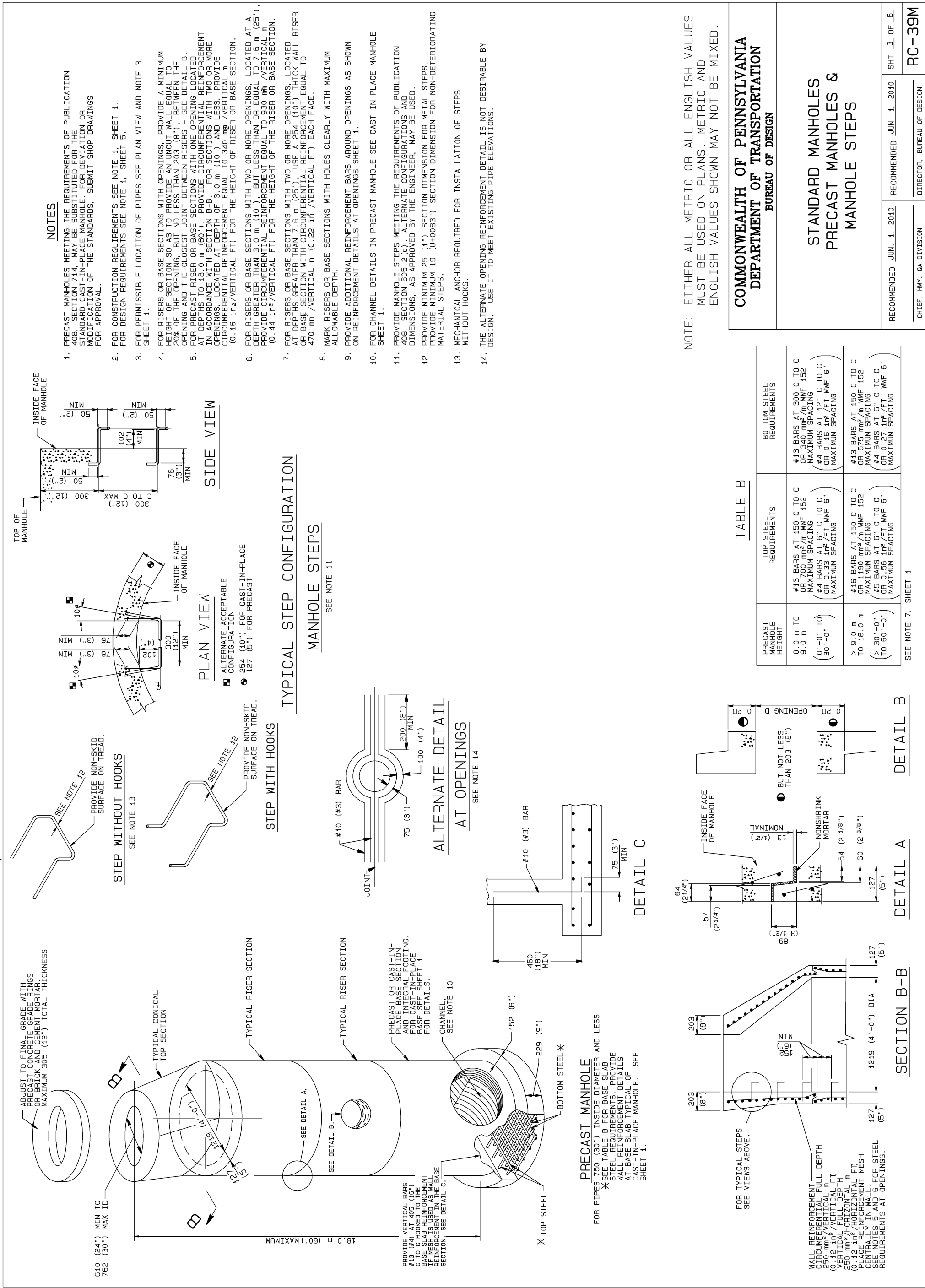
850 MANCILL MILL ROAD
UPPER MERION TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
TOWNSHIP
LANDSCAPE PLAN

REV #5 9-21-16
REV #4 6-30-16
REV #3 5-19-16
REV #2 11-16-15
REV #1 7-21-15
DATE 07-09-14
LP-2
9A OF 14






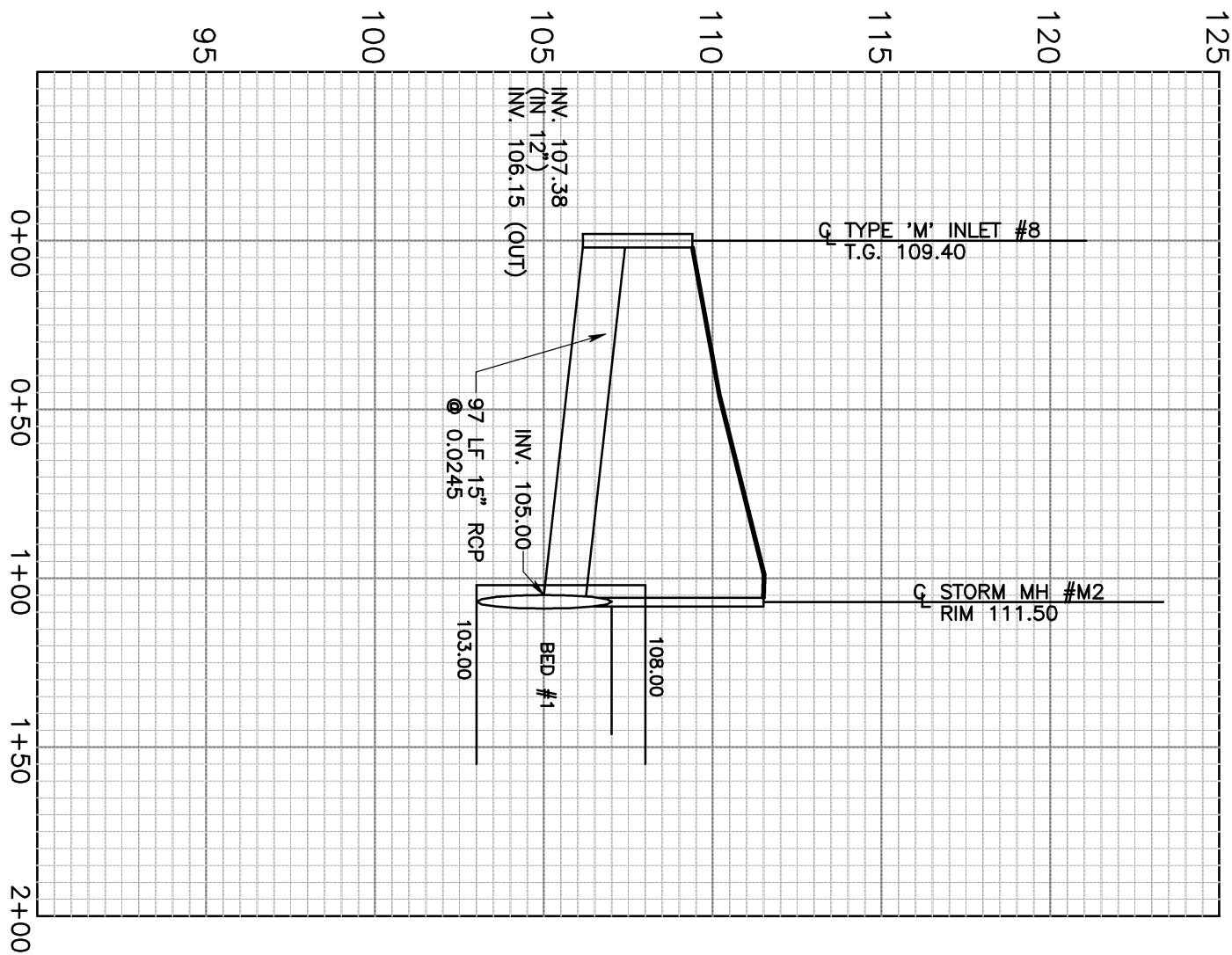
E/ONE DUPLEX GRINDER PUMP DETAIL



FINAL
DETAIL SHEET

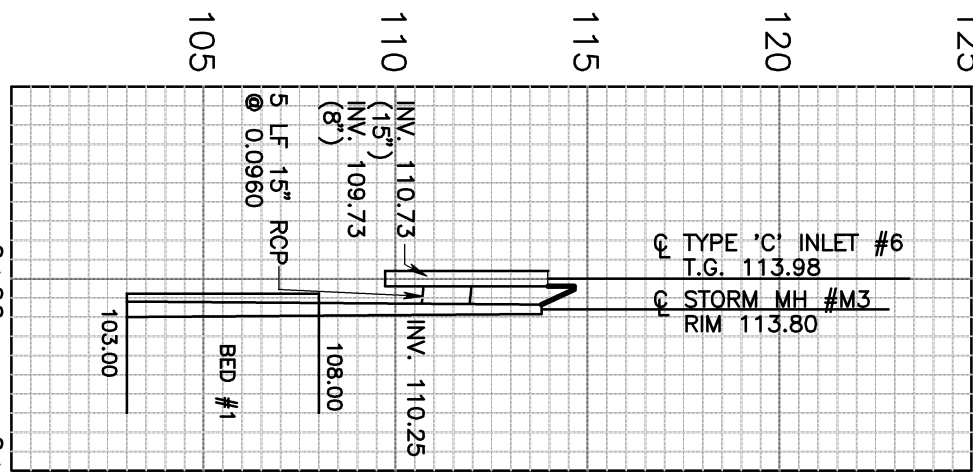
4	9-21-16	REVISED PER MCOO COMMENTS IN 9-10-16 REVIEW LETTER	
3	5-19-16	REVISED PER TWP CONSULTANT REVIEW LETTERS DATED 3-31-16 & 4-25-16	
2	11-16-15	REV. MODIFIED LAYOUT	
1	5-14-15	REVISED PER TWP ENGR REVIEW LETTER DATED 10-3-14	

LAND DEVELOPMENT PLAN FOR			
<p>UPPER MERION TOWNSHIP</p> <p>MANCILL MILL ROAD COMPANY</p> <p>MONTGOMERY COUNTY, PA</p>		<p>Edward B. Walsh & Associates, Inc.</p> <p>CIVIL ENGINEERS & SURVEYORS</p> <p><i>125 Doulton Forge Road Eaton, Pennsylvania 19341 Phone (610) 903-0080 Fax (610) 903-0080</i></p>	
		Project-- 3755 Date-- 7-9-14 Scale-- N/A Drawn-- SLM Checked-- A.J.B. Sheet-- 11 OF 14 Twp-- 000	Plotted: 10/26/2016 Pfile: F:\BA 3755\3755-B10.pro



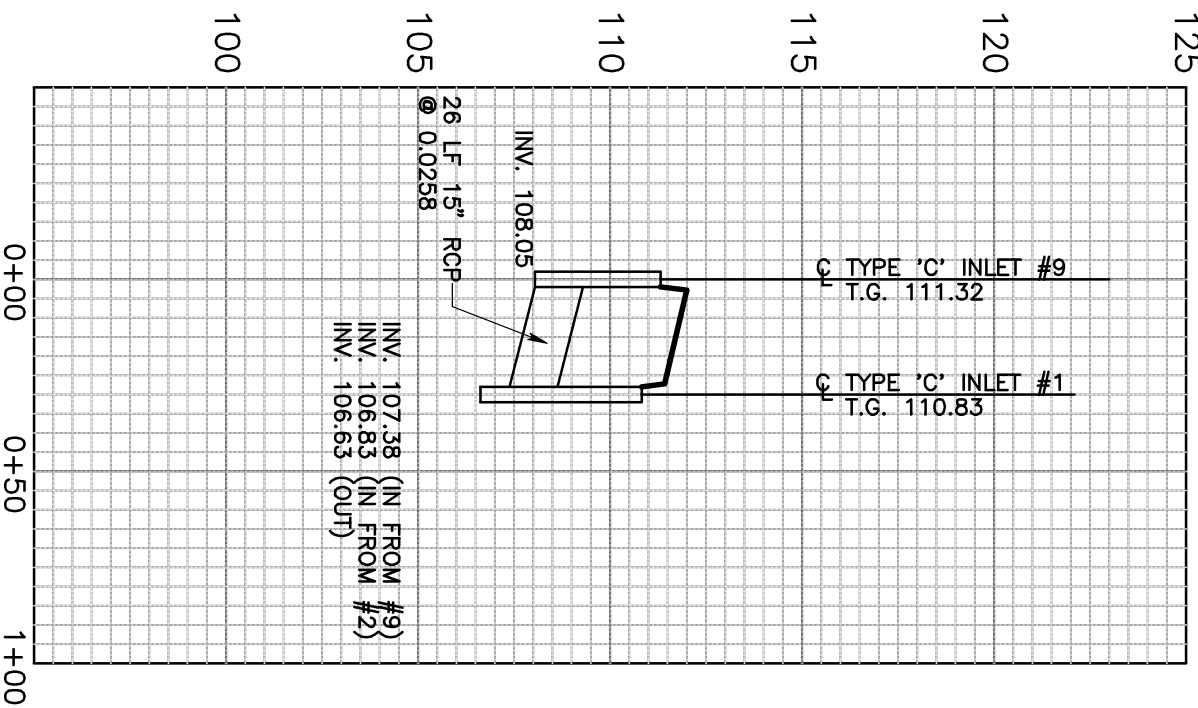
INLET #8 TO MH #M2

SCALE: H. 1"=50'
V. 1"=5'



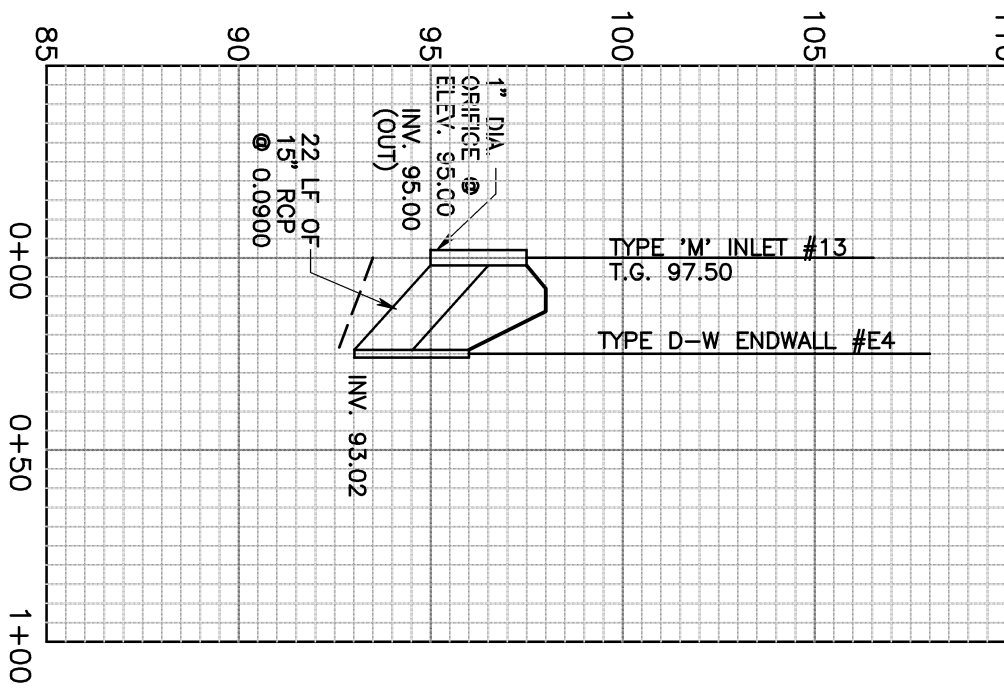
INLET #6 TO
MH #M3

SCALE: H. 1"=50'
V. 1"=5'



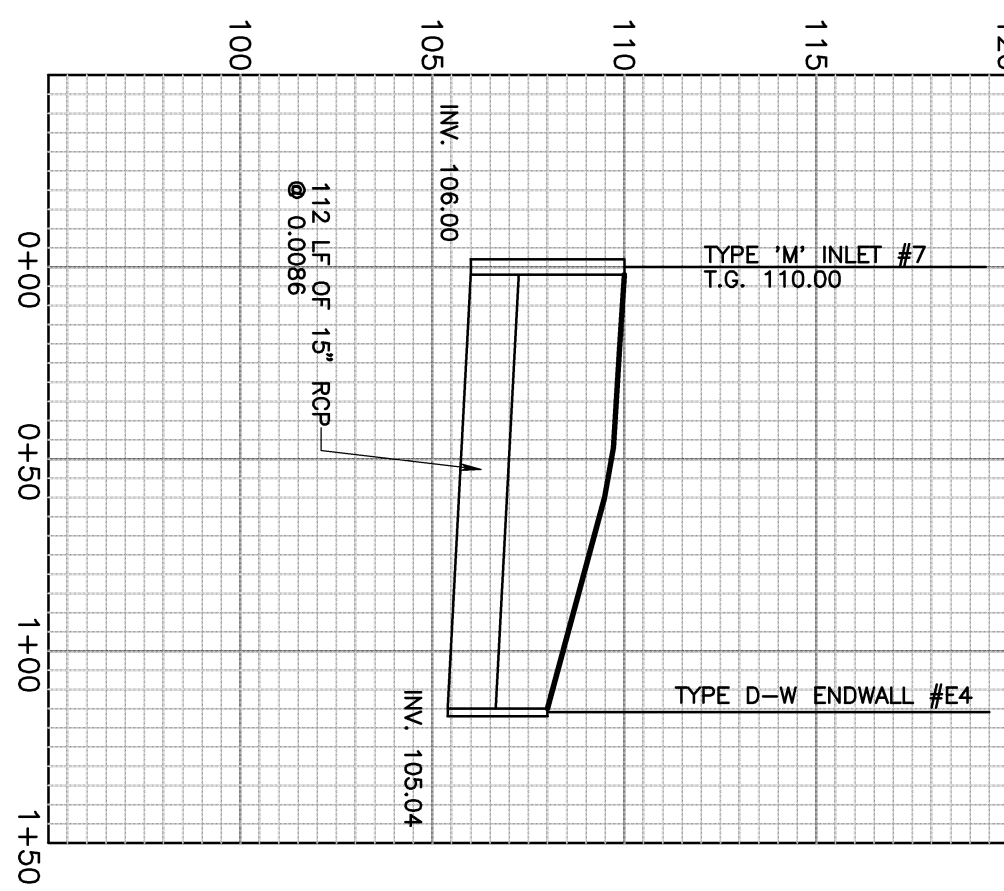
INLET #9 TO
INLET #1

SCALE: H. 1"=50'
V. 1"=5'



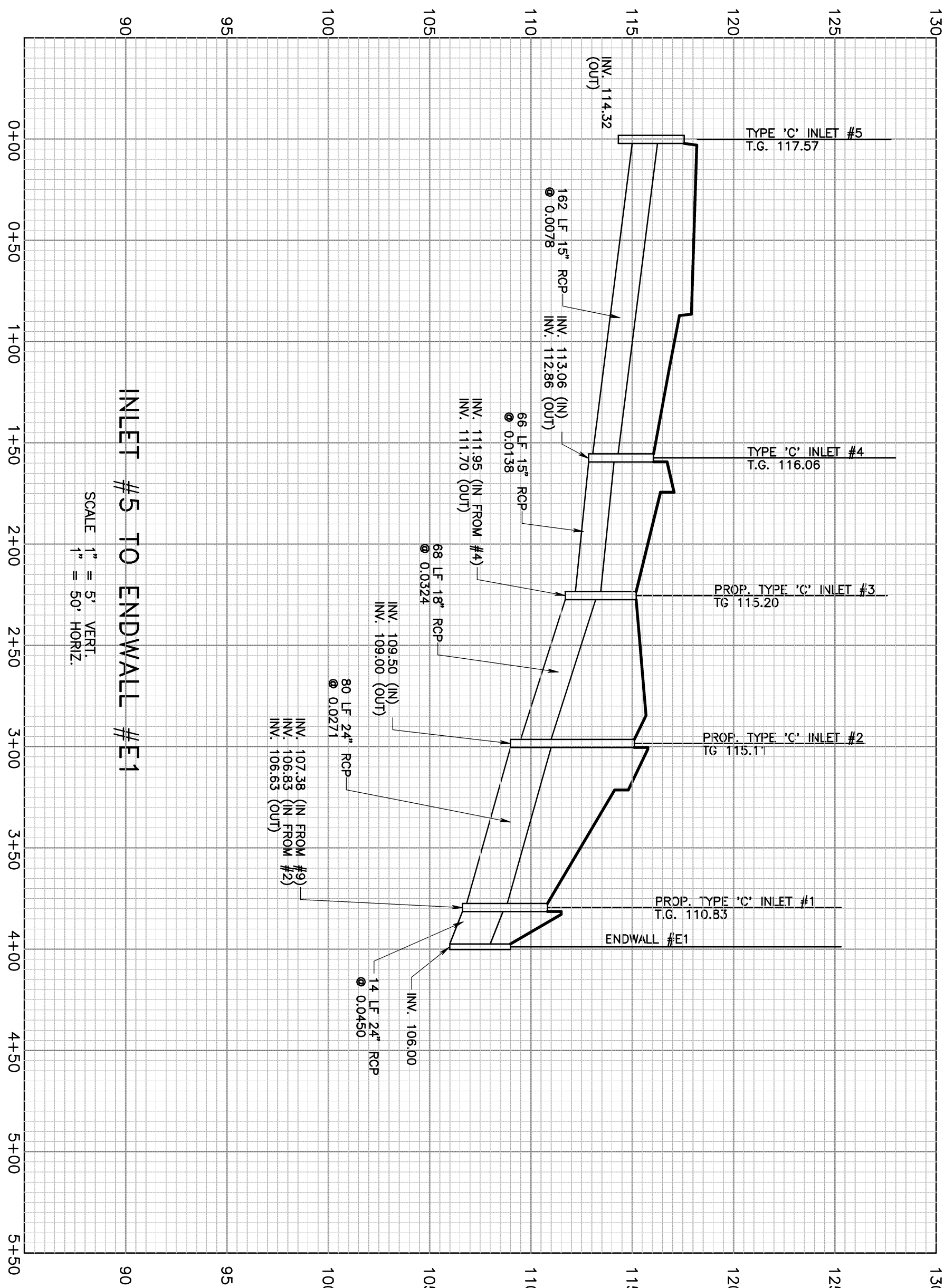
INLET #13 TO
ENDWALL #E4

SCALE: H. 1"=50'
V. 1"=5'



INLET #7 TO ENDWALL #E4

SCALE: H. 1"=50'
V. 1"=50'



INLET #5 TO ENDWALL #E1

SCALE: 1" = 5' VERT.
1" = 50' HORIZ.



FINAL PROFILE SHEET

4	9-21-16	REVISED PER MCOO COMMENTS IN 9-10-16 REVIEW LETTER
3	5-19-16	REVISED PER TWP CONSULTANT REVIEW LETTERS DATED 3-31-16 & 4-25-16
2	11-16-15	REV. MODIFIED LAYOUT
1	5-14-15	REVISED PER TWP ENGR REVIEW LETTER DATED 10-3-14

LAND DEVELOPMENT PLAN FOR

MANCILL MILL ROAD COMPANY

UPPER MERION TOWNSHIP
MONTGOMERY COUNTY, PA

Edward B. Walsh & Associates, Inc.

CIVIL ENGINEERS & SURVEYORS

1251 Droulign Forge Road 93441
Piquette, PA 15069
Phone (610) 903-0060
Fax (610) 903-0080

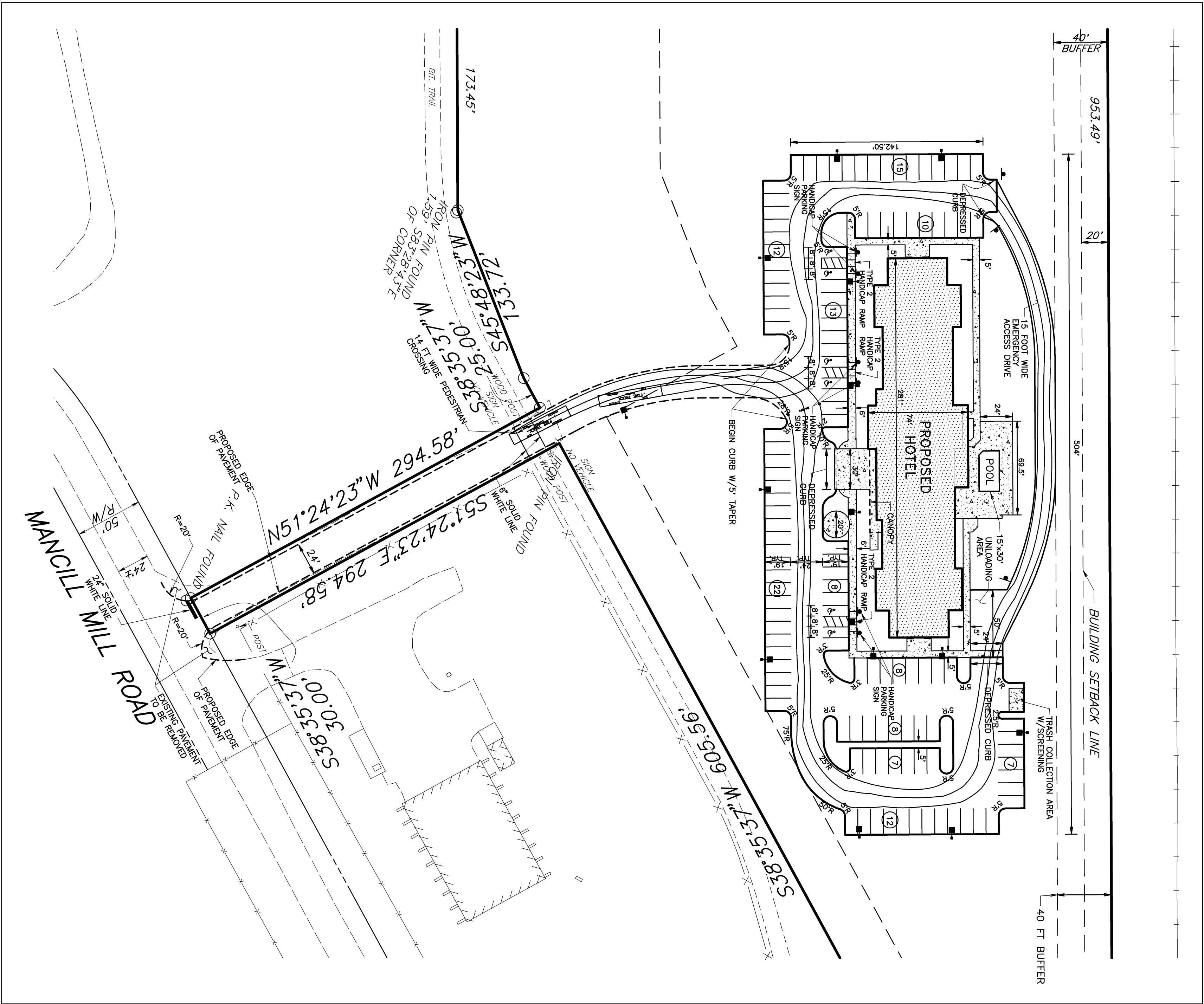
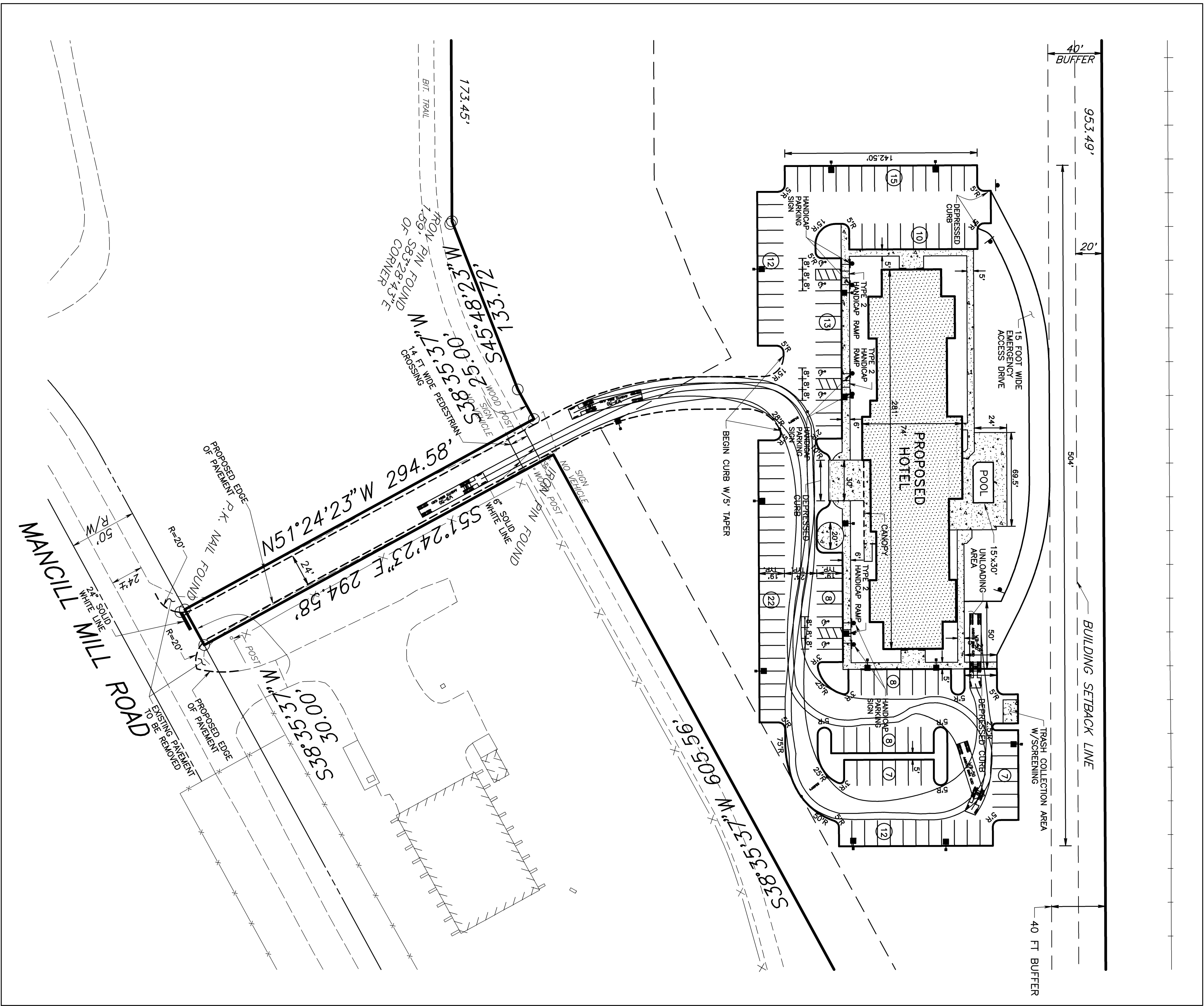


Project-	3755
Date-	7-9-14
Scale-	N/A
Drawn-	SLM
Checked-	AJB
Sheet-	14 OF 14

PlotDate: 10/28/2016 File: F:\JB\3755\3755-B10.ppt

Ver:-

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WB-50 TRUCK TURNING

FIRE TRUCK TRUCK TURNING

FINAL
TRUCK TURNING

4	9-21-16	REVISED PER MCD COMMENTS IN 9-10-16 REVIEW LETTER
3	5-19-16	REVISED PER TWP CONSULTANT REVIEW LETTERS DATED 3-31-16 & 4-25-16
2	11-16-15	REV. MODIFIED LAYOUT
1	5-14-15	REVISED PER TWP ENGR REVIEW LETTER DATED 10-3-14

LAND DEVELOPMENT PLAN

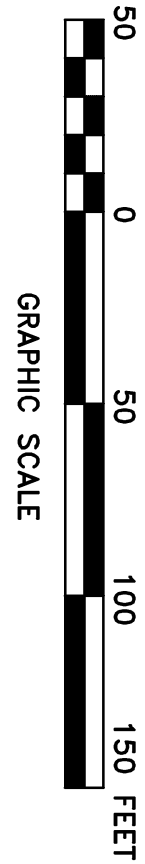
FOR
MANCILL MILL ROAD COMPANY

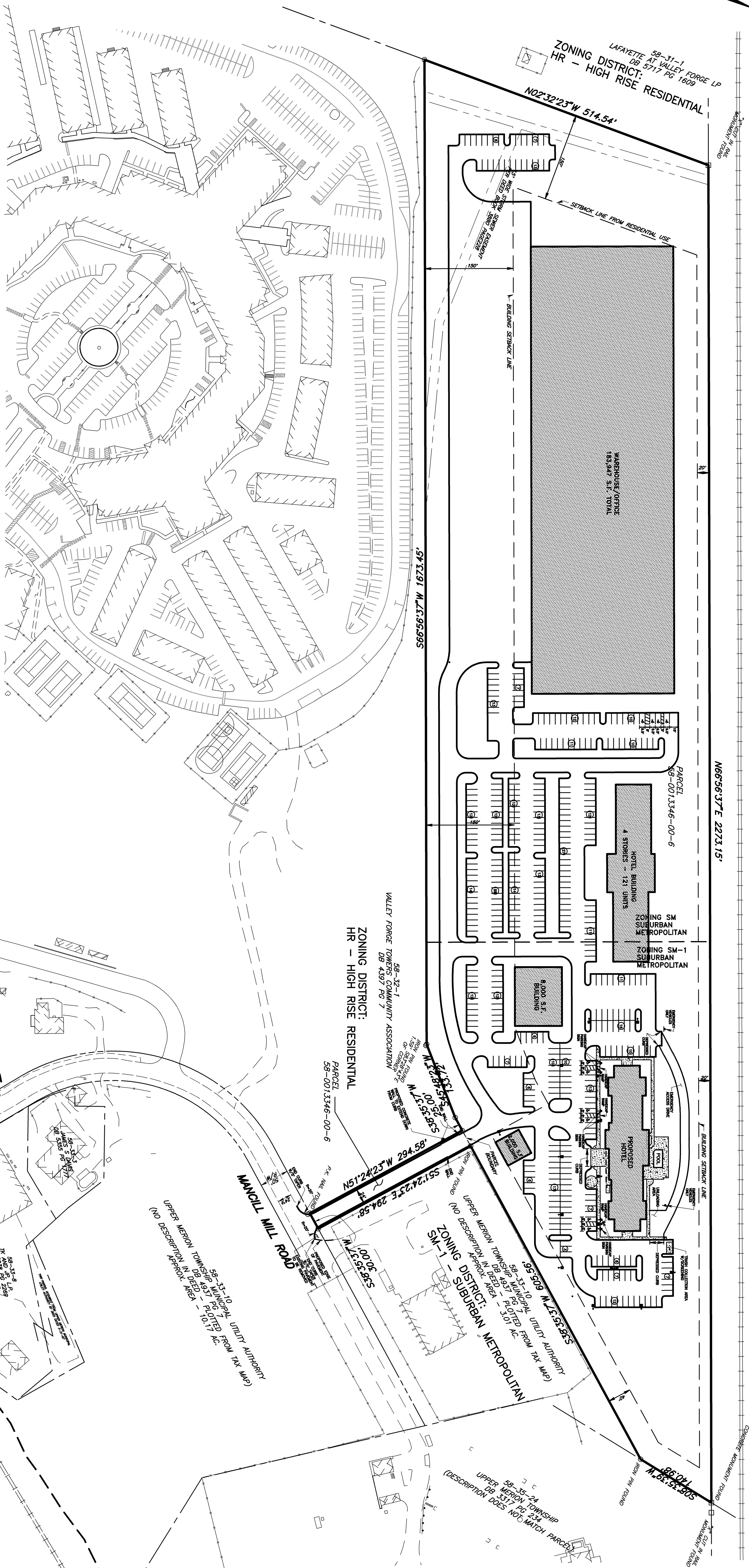
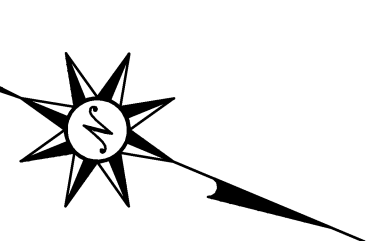
UPPER MERION TOWNSHIP
MONTGOMERY COUNTY, PA
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
1251 Drouin Forge Road
Pottsville, PA 17854
Phone (610) 903-0060
Fax (610) 903-0080



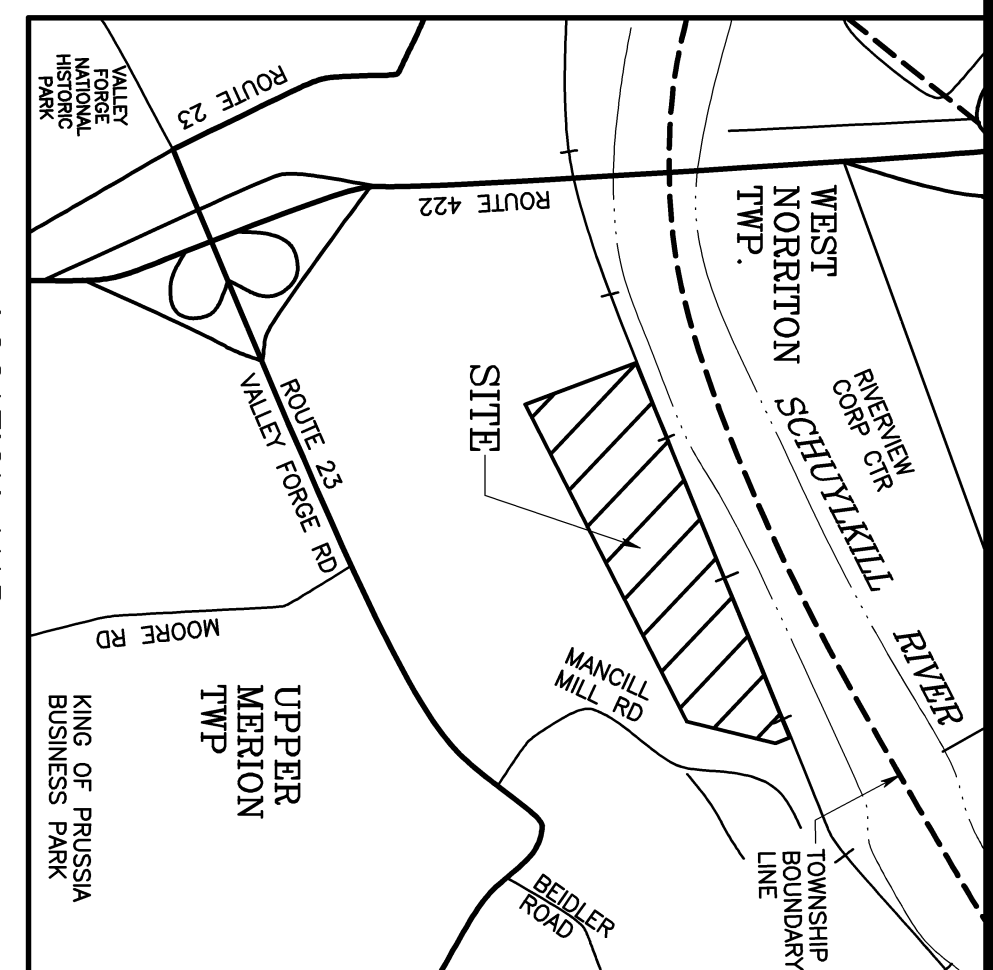
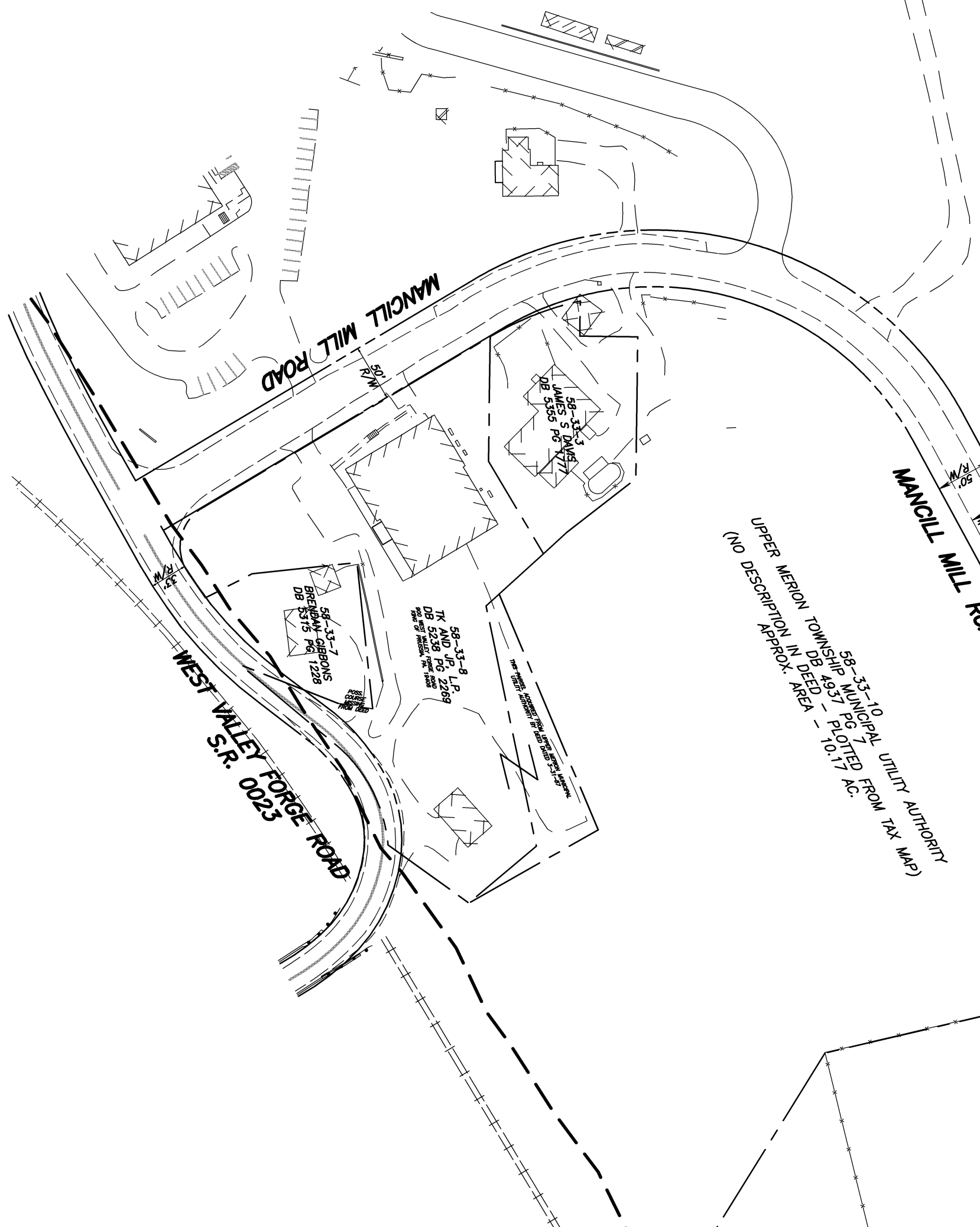
Project- 3755
Date- 7-9-14
Scale- 1" = 50'
Drawn- SLW
Checked- AJB
Sheet- 1 OF 1

Plotdate: 10/28/2016 File: E:\JB\3755\3755-B10.pno Ver: 000





- GENERAL NOTES:**
- BOUNDARY SURVEY BY EDWARD B. WALSH AND ASSOCIATES, INC. (EBWA) OF 1251 DOWLING FORGE ROAD, NORRISTOWN, PA 19403, WAS COMPLETED IN DECEMBER 2008 BY EARTH DESIGN GROUP. EBWA SURVEY WAS PERFORMED IN ACCORDANCE WITH THE PENNSYLVANIA SURVEYING ACT OF 1980. THE TOTAL TRACT AREA IS 22.826 AC.
 - TOPOGRAPHY WAS PHOTOGRAMMETRICALLY COMPILED DECEMBER, 2011 BY EDWARD B. WALSH AND ASSOCIATES, INC. (EBWA) OF 1251 DOWLING FORGE ROAD, NORRISTOWN, PA 19403. AND SUPPLEMENTED WITH GROUND SURVEYS BY EBWA.



OVERALL BUILD-OUT PLAN

LAND DEVELOPMENT PLAN FOR

MANCILL MILL ROAD COMPANY

UPPER MERION TOWNSHIP		MONTGOMERY COUNTY, PA	
Edward B. Walsh & Associates, Inc.		Project - 3755	
CIVIL ENGINEERS & SURVEYORS		Date - 7-9-14	
1251 Dowling Forge Road 93441		Scale - 1" = 100'	
Norristown, PA 19403		Drawn - R.F.N.	
Phone (610) 903-0060		Checked - A.J.B.	
Fax (610) 903-0080		Sheet - 1 OF 1	
Plot Date: 10/28/2016		File Name: 3755-3755-B8 SKETCH(7-13-14).dgn	
		Ver - 000	

APPLICANT/OWNER
MANCILL MILL ROAD COMPANY
1251 DOWLING FORGE ROAD
NORRISTOWN, PA 19403
610-630-7911

PARCELS NO.58-0013346-00-6 & 58-00-13345-90-7 (PER DEED)

