

**KEY**

TRUCK: SU (30' LONG)

**WAIVERS REQUESTED**

- WAIVERS REQUESTED FROM SUBDIVISION ORDINANCE: SECTION 145-20 C(2)
  - RELIEF REQUESTED FROM PROVIDING SIDEWALKS ALONG SOUTH HENDERSON ROAD ALONG THE NORTHERN, SOUTHERN AND WESTERN SIDES OF THE BUILDING.
  - RELIEF REQUESTED FROM PROVIDING SIDEWALKS ALONG DEKALB PIKE CLOSER TO THE CARTWAY, WITH A GRASS STRIP.
- WAIVERS REQUESTED FROM SUBDIVISION ORDINANCE: SECTION 145-24 A(1)
  - RELIEF REQUESTED FROM THE MINIMUM REQUIRED DRIVE AISLE WIDTH OF 24 FEET.
  - RELIEF REQUESTED FROM THE MINIMUM REQUIRED DRIVE AISLE WIDTH OF 24 FEET.
  - PROVIDED: 20 FOOT DRIVEWAY WIDTH ALONG THE EASTERN SIDE OF THE BUILDING.
- WAIVERS REQUESTED FROM SUBDIVISION ORDINANCE: SECTION 145-24 1.G.3(a)
  - RELIEF REQUESTED FROM THE 15 FOOT MINIMUM BUFFER AREA ALONG THE WESTERN, SOUTHERN AND EASTERN PROPERTY LINES.
  - PROVIDED: WESTERN PROPERTY LINE BUFFER: 4.6 FEET
  - SOUTHERN PROPERTY LINE BUFFER: 10 FEET
  - EASTERN PROPERTY LINE BUFFER: 9.6 FEET
- WAIVERS REQUESTED FROM SUBDIVISION ORDINANCE: SECTION 145-24 1.G.3(C)
  - RELIEF REQUESTED FROM THE 15 FOOT BUFFER ALONG THE WESTERN PROPERTY LINE.
  - PROVIDED: WESTERN PROPERTY LINE BUFFER: 4.6 FEET
  - RELIEF REQUESTED FROM THE 15 FOOT BUFFER ALONG THE SOUTHERN PROPERTY LINE.
  - PROVIDED: SOUTHERN PROPERTY LINE BUFFER: 10 FEET
- WAIVER IS REQUESTED FROM S.G.E.C. ORDINANCE: SECTION 140-8 B(3)(4)
  - RELIEF REQUESTED FROM THE EVENT THAT A PIPE ENTERING AN INLET, MANHOLE OR JUNCTION BOX IS SMALLER THAN THE PIPE EXISTING, THE TOP OF EACH PIPE SHALL BE THE SAME ELEVATION.
- WAIVER IS REQUESTED FROM S.G.E.C. ORDINANCE: SECTION 140-10 A(2)
  - RELIEF REQUESTED FROM THE FIVE FOOT GRADING SETBACK ALONG THE SOUTHERN AND WESTERN PROPERTY LINES.

**ZONING REQUIREMENTS**

DESCRIPTION	SECTION	REQUIRED	PROPOSED
LOT AREA	165-108	N/A	55,227 SQ. FT.
FRONT SETBACK	165-108	50 FT. MINIMUM	59.03 FT.
SIDE SETBACK	165-108	50 FT. MINIMUM (HENDERSON RD.)	38.74 FT.
REAR SETBACK	165-108	15 FT. MINIMUM (OTHER SIDE)	21.25 FT.
BUILDING HEIGHT	165-107	2 STORES / 25 FT. MAXIMUM	< 25 FT.
GREEN AREA	165-198	15 PERCENT MINIMUM	24 PERCENT
OFF STREET PARKING	165-191(B)(6)(A)	6 SPACES PER 1,000 SQ. FT. GROSS FLOOR AREA	32 SPACES
PARKING STALL SIZE	145-24(A)	9.5 FT. x 19 FT.	9.5 FT. x 19 FT.
HANDICAP SPACES	165-191(B)(6)(A)	1 SPACE	2 SPACES
OFF STREET LOADING	165-195(A)	1 SPACE	0 SPACES
TOTAL SIGN AREA	165-108	2 SQ. FT. PER 1 LINEAL FOOT OF HORIZONTAL BUILDING FRONTAGE	11,500 SQ. FT.
MIN. SIGN SETBACK	165-171	15 FT.	EXISTING
MAX. FREESTANDING SIGN HEIGHT	165-171	35 SQ. FT.	EXISTING
MAX. FREESTANDING SIGN AREA	165-171	35 SQ. FT.	39 SQ. FT. (EXISTING)

**ZONING RELIEF GRANTED**

**ZONING:** DISTRICT C-1: COMMERCIAL DISTRICT  
 BANK - PERMITTED (PURSUANT TO ARTICLE XIX: SECTION 165-106)

**SIDE YARD SETBACK VARIANCE:**  
 ARTICLE XIX: SECTION 165-108 MINIMUM SIDE YARD SETBACK: 50 FT. (HENDERSON RD.)  
 RELIEF REQUESTED: PROPOSED SIDE YARD SETBACK: 35.73 FT.

**OFF STREET LOADING VARIANCE:**  
 ARTICLE XXVIII: SECTION 165-195 1 SPACE FOR THE FIRST 5,000 SQ. FT. GROSS FLOOR AREA  
 RELIEF REQUESTED: NO OFF STREET LOADING SPACE PROPOSED

**GENERAL NOTES**

- THE ACCURACY AND COMPLETENESS OF THIS INFORMATION HAS BEEN PROVIDED TO THE BEST ABILITY OF THE ENGINEER. HOWEVER, THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTORS CONCERNING THE LOCATION OF ALL UTILITIES PRIOR TO BIDDING. CONSTRUCTION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS ARE TO BE CONSIDERED APPROXIMATE AND SHOULD BE VERIFIED BY THE CONTRACTOR.
- THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSE OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OR APPROVALS HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN ASSURED TO INDICATE "ISSUED FOR CONSTRUCTION". THE CLIENT OR OWNER AND CONTRACTOR ARE RESPONSIBLE TO VERIFY THAT THE APPROVED PLANS ONLY, ARE USED FOR BIDDING AND CONSTRUCTION.
- DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY. EXACT WHERE DIMENSIONS ARE SHOWN THEREIN.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND CANNOT BE GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION, TO PERMIT ADJUSTMENT AS REQUIRED TO AVOID CONFLICTS. ANY EXISTING UTILITY SERVICE CONNECTIONS, LOCATED BY THE CONTRACTOR, CAPABLE OF SERVING THE PROPOSED USE SHALL BE SERVED AS LONG AS THEY ARE IN GOOD CONDITION AND MEET THE UTILITY AUTHORITY'S STANDARDS AND SPECIFICATIONS. IF THE EXISTING UTILITY SERVICES DO NOT MEET THE ABOVE CRITERIA, THEN NEW SERVICE LINES SHALL BE INSTALLED.
- FINAL LOCATIONS, NUMBERS AND SIZE OF ALL PROPOSED UTILITIES SERVING BUILDINGS ARE TO BE VERIFIED WITH THE ARCHITECT, OWNER AND APPROPRIATE UTILITY AUTHORITY BY THE CONTRACTOR.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
  - A) PENNSYLVANIA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS CURRENTLY AMENDED.
  - B) CURRENT, PREVAILING UPPER MERION TOWNSHIP SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
  - C) CURRENT, PREVAILING UTILITY COMPANY/AUTHORITY AND OWNER SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD OR SOIL CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS SHOULD BE REPORTED TO THE DESIGNER SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL APPROPRIATE SAFETY DEVICES AND TRAINING TO ALL WORKERS IN ORDER TO MAINTAIN SAFE CONDITIONS ON THE PROJECT SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION PERMITS NECESSARY FOR THE CONSTRUCTION AND COMPLETION OF THE APPROVED IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER REMOVAL AND DISPOSAL OF ANY AND ALL EXISTING OBJECTS, STRUCTURES, ETC. THAT ARE IN THE WAY OF PROPOSED CONSTRUCTION, OR INDICATED AS "TO BE REMOVED".
- ALL PROPOSED SPOT ELEVATIONS ARE GRADE OR BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- WALKWAYS SHOULD SLOPE AWAY FROM BUILDINGS AT A MAXIMUM PITCH OF 1/4 INCH PER FOOT. HANDICAP RAMPS ARE TO HAVE A MAXIMUM SLOPE OF 1" PER FOOT.
- CONCRETE SIDEWALKS AND CURBING TO BE REMOVED SHALL BE SAW CUT OR REMOVED TO THE NEAREST EXPANSION JOINT.
- THE CONTRACTOR SHALL TAKE ADDITIONAL PRECAUTIONS TO WATERPROOF AREAS WHERE THE EXTERIOR FINISHED GRADE IS HIGHER THAN THE FINISHED FLOOR ELEVATION. ALTERNATELY, FOUNDATION WALLS IN EXCESS OF 6" BELOW FINISHED FLOOR SHALL BE FINISHED SATISFACTORILY.
- THE APPLICANT IS TO PROVIDE PRIVATE TRASH CARTING FOR THE PROPOSED FACILITIES AND WILL COMPLY WITH ALL RECYCLING REQUIREMENTS OF THE MUNICIPALITY, COUNTY AND STATE.
- UNITS ARE IN UNITED STATES STANDARD.
- THE DEVELOPER SHALL PAY FEES IN LIEU OF PARK LAND IN ACCORDANCE WITH THE REQUIREMENTS OF S.I.O. SECTION 145-43.
- SUMP PUMPS ARE NOT PROPOSED.

DISCLAIMER

KENDERIAN • ZILINSKI

RUSSELL T. McFALL II, P.E.

DATE: 07/11/08  
 PER TOWNSHIP REVIEW: [ ]  
 PER COUNTY REVIEW: [ ]

THE PROPERTY OWNER SHALL HAVE THE RESPONSIBILITY FOR THE PERPETUAL MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT FACILITIES. NO CHANGES SHALL BE MADE TO THE STORMWATER MANAGEMENT FACILITIES OR FINISH GRADING WITHOUT PRIOR WRITTEN APPROVAL FROM THE TOWNSHIP. A BLANKET EASEMENT IS HEREBY GRANTED GIVING THE TOWNSHIP THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER THE PROPERTY TO PERFORM ANY REQUIRED MAINTENANCE WHICH HAS NOT BEEN PROPERLY PERFORMED IN A TIMELY MANNER. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE TOWNSHIP. THE TOWNSHIP SHALL LIEN THE PROPERTY FOR SAID COSTS UNTIL THE TOWNSHIP HAS BEEN REIMBURSED IN FULL.

THERE ARE NO EXISTING FLOODPLAINS, WETLANDS, WATERCOURSES, RAILROADS, AREAS OF SUBSIDENCE, STRIP MINES, CULM BANKS, WOODED AREAS, BRIDGES OR CULVERTS ON THE TRACT OR WITHIN TWO HUNDRED (200) FEET OF ITS BOUNDARIES.

THE UNDERGROUND BASIN SHALL BE INSPECTED ONCE A YEAR AND AFTER EACH STORM EVENT GREATER THAN 100 YEARS TO ENSURE NONE OF THE FACILITIES ARE CLOGGED. THE BASIN SHALL BE FLUSHED EVERY 2 YEARS TO PREVENT THE BUILD UP OF DEBRIS AND SEDIMENT. THIS SEDIMENT SHALL BE DISPOSED OF AT AN APPROVED SITE.

NO ENCROACHMENT IS PERMITTED ON ADJACENT PROPERTIES WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM AFFECTED PROPERTY OWNERS.

**CERTIFICATIONS**

**CERTIFICATE OF OWNERSHIP**  
 COMMONWEALTH OF PENNSYLVANIA  
 COUNTY OF MONTGOMERY

ON THIS, THE \_\_\_\_ DAY OF \_\_\_\_\_, 2008, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED \_\_\_\_\_ WHO IS THE AUTHORIZED OFFICER OF \_\_\_\_\_ THE OWNER OF THE PROPERTY SHOWN HEREON AND THAT THE LAND DEVELOPMENT PLAN WAS MADE AT ITS DIRECTION, AND ACKNOWLEDGES THE SAME TO BE ITS ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

OWNER \_\_\_\_\_

WITNESS MY HAND AND NOTARY SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2008.

MY COMMISSION EXPIRES THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

(SEAL)

NOTARY PUBLIC \_\_\_\_\_

PLANNING COMMISSION REVIEW  
 REVIEWED BY THE PLANNING COMMISSION OF UPPER MERION TOWNSHIP. THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2008.

SECRETARY \_\_\_\_\_ CHAIRPERSON \_\_\_\_\_

**BOARD OF SUPERVISORS APPROVAL**  
 APPROVED BY THE BOARD OF TOWNSHIP SUPERVISORS OF TOWNSHIP OF UPPER MERION. THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2008.

SECRETARY \_\_\_\_\_ CHAIRPERSON \_\_\_\_\_

TOWNSHIP ENGINEER \_\_\_\_\_

**MUNICIPAL ENGINEER'S CERTIFICATION**  
 I CERTIFY THAT THIS PLAN MEETS ALL ENGINEERING REQUIREMENTS OF THE APPLICABLE ORDINANCES OF THE TOWNSHIP OF UPPER MERION, EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROPRIATE OFFICIALS OF THE MUNICIPALITY.

DATE \_\_\_\_\_ NAME \_\_\_\_\_

(SEAL) \_\_\_\_\_ REGISTRATION NUMBER \_\_\_\_\_

**RECORDING NOTATION**  
 RECORDED IN THIS OFFICE FOR THE RECORDING OF DEEDS, NORRISTOWN, PENNSYLVANIA, IN PLAN BOOK \_\_\_\_\_ PAGE NUMBER \_\_\_\_\_ ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

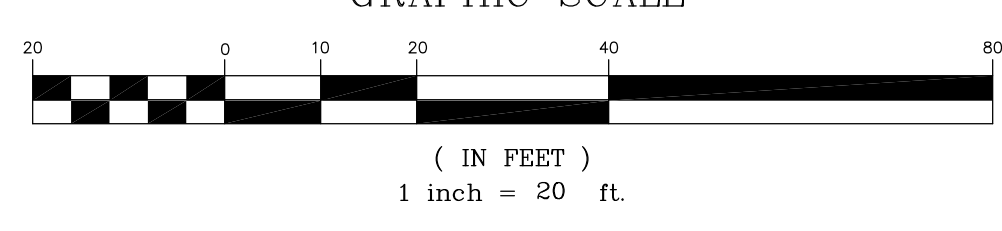
**SURVEYOR'S STATEMENT**  
 I, ERROL MELNICK, P.L.S., A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, CERTIFY THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT THE MONUMENTS SHOWN THEREON EXIST AS LOCATED AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

REGISTERED SURVEYOR \_\_\_\_\_

**PLANNING COMMISSION STATEMENT**  
 I, RUSSELL T. McFALL II, P.E., A PROFESSIONAL ENGINEER OF THE COMMONWEALTH OF PENNSYLVANIA, CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION AND THE DESIGN OF ALL IMPROVEMENTS IS CORRECT.

PROFESSIONAL ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

MCPD NO. 08-0006-001  
 PROCESSED AND REVIEWED, REPORT PREPARED BY MONTGOMERY COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.  
 CERTIFIED THIS DATE \_\_\_\_\_ FOR THE DIRECTOR \_\_\_\_\_  
 MONTGOMERY COUNTY PLANNING COMMISSION



**DRAWING LEGEND**

EXISTING	PROPOSED	EXISTING	PROPOSED
CONCRETE CURB	CONCRETE CURB	ELECTRICAL MANHOLE	ELECTRICAL MANHOLE
CONCRETE DEP. CURB	CONCRETE DEP. CURB	DRAINAGE MANHOLE	DRAINAGE MANHOLE
TRAFFIC FLOW	TRAFFIC FLOW	SANITARY MANHOLE	SANITARY MANHOLE
LD. SIGN	LD. SIGN	TELEPHONE MANHOLE	TELEPHONE MANHOLE
SIGN	SIGN	MONITORING WELL	MONITORING WELL
ENTER AND EXIT SIGNS	ENTER AND EXIT SIGNS	TYPE 'C' INLET	TYPE 'C' INLET
POLE MOUNTED LIGHT	POLE MOUNTED LIGHT	DRIL 'C' INLET	DRIL 'C' INLET
UTILITY POLE	UTILITY POLE	TYPE 'M' INLET	TYPE 'M' INLET
TRANSFORMER	TRANSFORMER	DRIL 'M' INLET	DRIL 'M' INLET
CHAIN FENCE	CHAIN FENCE	ROOF LEADER W.C.O.	ROOF LEADER W.C.O.
BOARD-ONBOARD FENCE	BOARD-ONBOARD FENCE	FLARED END SECTION	FLARED END SECTION
BUILDING ENTRANCE	BUILDING ENTRANCE	WATER MAIN	WATER MAIN
FIRE HYDRANT	FIRE HYDRANT	GAS MAIN	GAS MAIN
WATER VALVE	WATER VALVE	SANITARY LATERAL	SANITARY LATERAL
GAS VALVE	GAS VALVE	ELECTRIC	ELECTRIC
CONTOUR	CONTOUR	TELEPHONE	TELEPHONE
SPOT ELEVATION	SPOT ELEVATION	OVERHEAD WIRES	OVERHEAD WIRES
UNMARKED MANHOLE	UNMARKED MANHOLE	DRAINAGE FLOW ARROW	DRAINAGE FLOW ARROW

**SITE PLAN LEGEND**

- PROPOSED CONCRETE CURB: 8" REVEAL
- PROPOSED LANDSCAPING
- PROPOSED CONCRETE SIDEWALK / 4" CONCRETE PAVES
- PROPOSED CONCRETE PAD / PAVING, 6" THICK
- PROPOSED ASPHALT PAVING
- PROPOSED STOP SIGN
- PROPOSED PAINTED WHITE STRIPING, 4" WIDE
- PROPOSED PAINTED STOP BAR, 12" WIDE
- PROPOSED HANDICAP PARKING WITH SIGN
- PROPOSED HANDICAP RAMP
- DEPRESSED CURB
- PROPOSED DO NOT ENTER SIGN
- PROPOSED AREA LIGHT FOUNDATION
- PROPOSED NO RIGHT TURN SIGN

**PRELIMINARY / FINAL LAND DEVELOPMENT SITE PLAN**

FOR

**WACHOVIA**

U.S. ROUTE 202 AT HENDERSON ROAD  
 TOWNSHIP OF UPPER MERION  
 MONTGOMERY COUNTY PENNSYLVANIA

DATE	SCALE	FILE	DRAWN BY	CHK'D BY
03-17-08	1" = 20'	07-0103P	TLS	RTM

3 OF 12