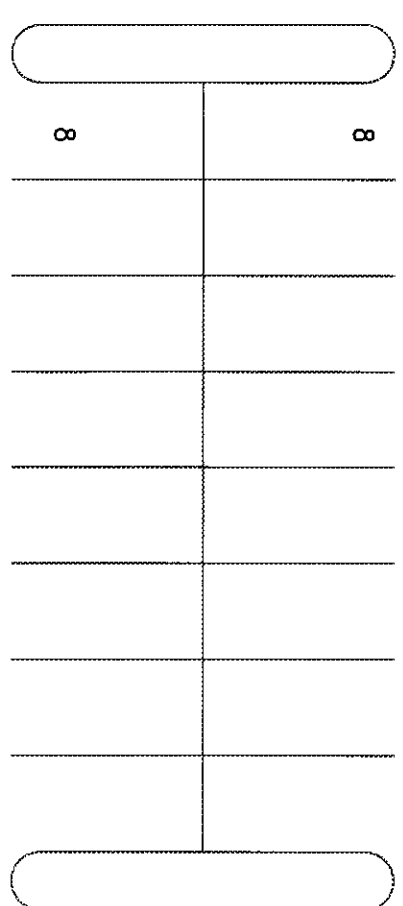


PULASKI DRIVE

S 68° 02' 03" E  
152.0'

15

ACCESS TO HOTEL PARKING LOT

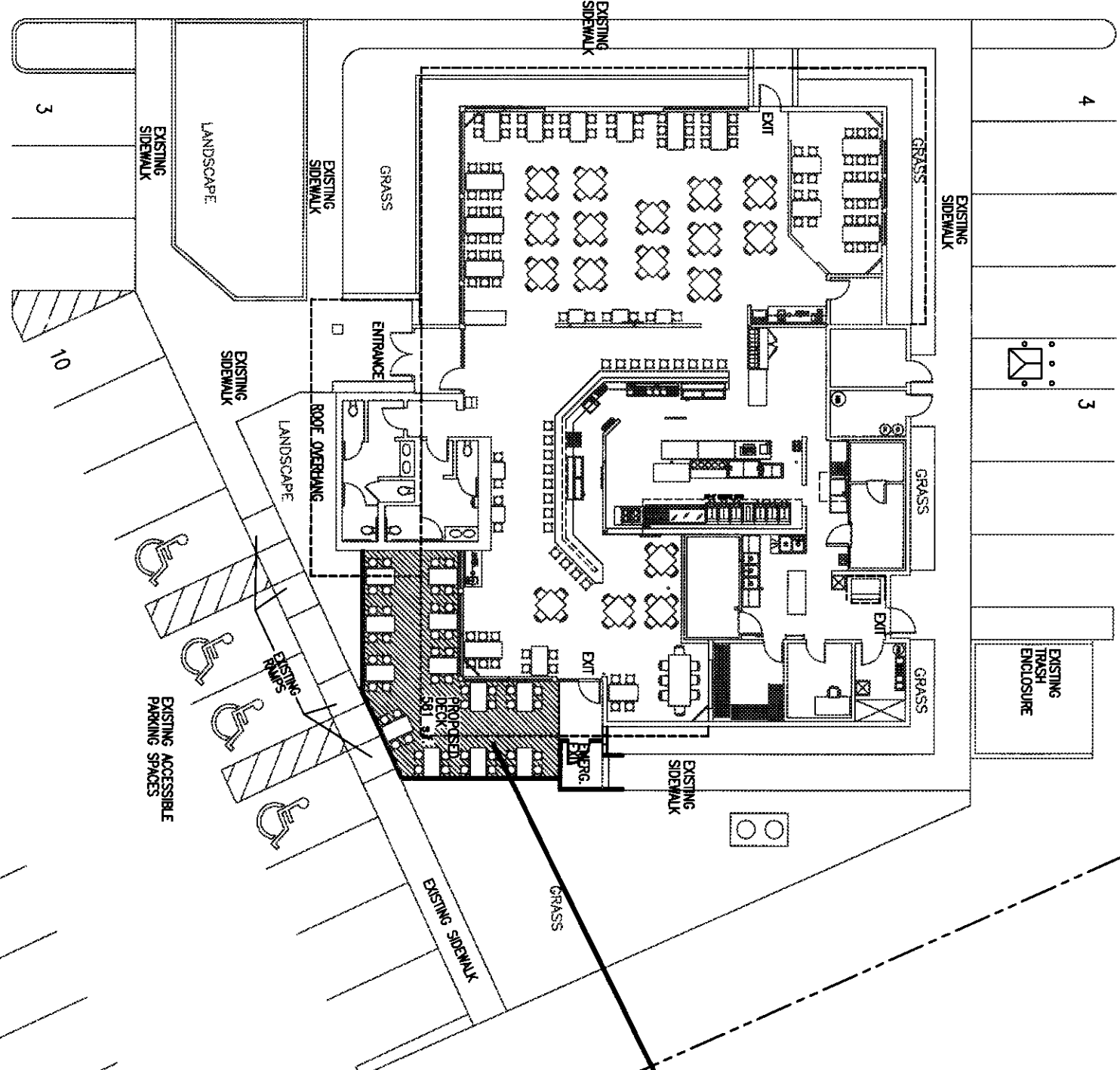


EXISTING PARKING LOT

S 21° 57' 57" W  
100.0'

N 21° 57' 57" E  
365.31'

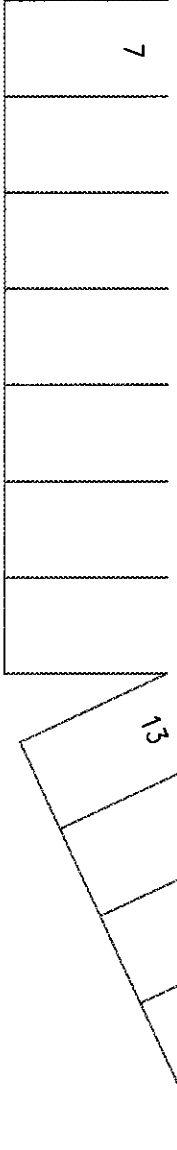
EXISTING PARKING LOT



EXISTING PARKING LOT

SHED CONVRTD WITH STEAKHOUSE RESTAURANT

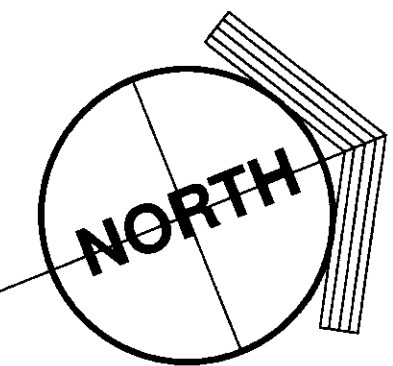
ACCESS TO HOTEL PARKING LOT



S 88° 02' 37" W  
5.88' 17.54'

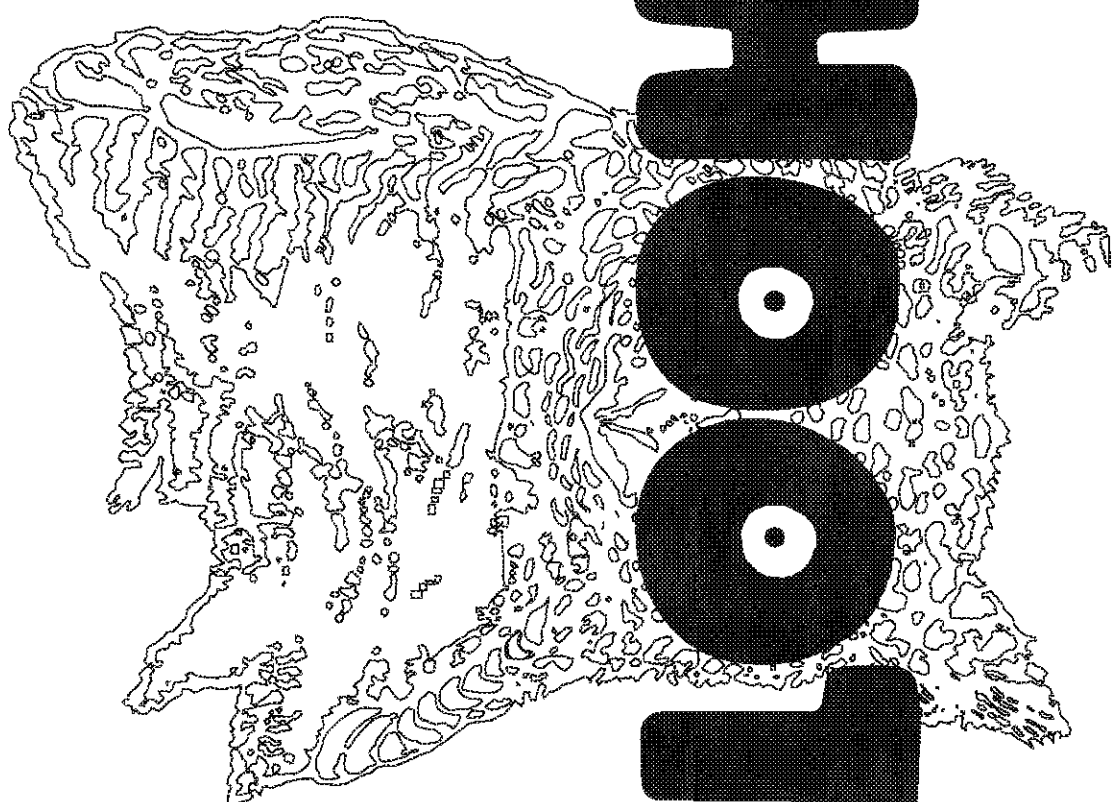
N 58° 21' 23" W  
82.82'

NORTH GULPH ROAD



**SITE PLAN**

SCALE: 1" = 20'-0"



**HOOTERS**

Owner:  
**KP Wings, LLC**  
DBA Hooters-King of Prussia  
337 East Main Street  
Newark, DE 19711  
(302) 368-9464

**JOB SITE:**  
**240 NORTH GULPH RD.**  
**KING OF PRUSSIA, PA 19406**

- LIST OF DRAWINGS**
- SP.1 - SITE PLAN
  - A.1 - DECK PLANS
  - A.2 - SITE DEMOLITION PLAN

**APPLICABLE CODES**

INTERNATIONAL BUILDING CODE 2006  
W/AMENDMENTS (UPPER MERION TWP-<sup>2</sup>)  
ICC ELECTRICAL CODE 2006  
(UTILIZES NATIONAL ELECTRIC CODE 2005 STANDARDS)  
INTERNATIONAL ENERGY CONSERVATION CODE 2006  
INTERNATIONAL EXISTING BUILDING CODE 2006  
INTERNATIONAL FIRE CODE 2006  
INTERNATIONAL FUEL GAS CODE 2006  
INTERNATIONAL MECHANICAL CODE 2006  
INTERNATIONAL PLUMBING CODE 2006

**BUILDING DATA**

OCCUPANCY: ASSEMBLY (RESTAURANT)  
OCCUPANT LOAD: DINING SEATING: 172  
BAR: 16  
WAITING: 20  
EMPLOYEE: 14  
OUTDOOR SEATING: 48  
TOTAL: 210  
CONSTRUCTION TYPE: IIB, UNPROTECTED  
SPRINKLED: NO (NO CHANGE OF USE)  
BUILDING HEIGHT: 16'-0"  
NUMBER OF STOREYS: 1  
GROSS BUILDING AREA: 5524 S.F.  
DECK AREA: 581 S.F.

**LIFE SAFETY SYSTEM**

EMERGENCY LIGHTING:  YES  NO  
EYE WASH:  YES  NO  
FIRE ALARM SYSTEM:  YES  NO  
SMOKE DETECTION SYSTEM:  YES  NO  
PANIC HARDWARE:  YES  NO

**EXIT REQUIREMENTS**

DEAD END UNIT - MAX CONDITION:  
TRAVEL DISTANCE TO EXIT - MAX ALLOWED:  
NUMBER OF EXITS REQUIRED: 2  
NUMBER OF EXITS PROVIDED: 4  
EXIT WIDTH REQUIRED:  
0.20 PER PERSON (1) 72" = 72"  
50K THRU FRONT = (2) 23' = 44.4"  
FRONT = 72"

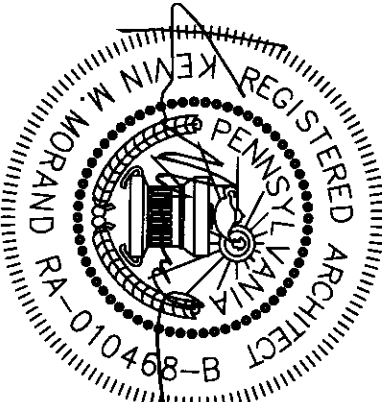
**ZONING**

DISTRICT: SM-1  
REQUIRED PARKING: 50 SPACES REQUIRED FOR BUILDING (APPROVED BY BOARD OF TOWNSHIP SUPERVISORS ON DEC. 13, 1976)  
12 SPACES REQUIRED FOR NEW DECK (581 SF @ 1/50 SF)  
62 SPACES = TOTAL REQUIRED PARKING  
PROVIDED PARKING: 94 SPACES  
STORM DRAINAGE: PRE-DEVELOPMENT  
DECK AREA IS CURRENTLY A COMBINATION OF GRASS AND SIDEWALK.  
POST-DEVELOPMENT  
DECK CONSTRUCTION IS OPEN DECK, UNDERNEATH,  
THE NET CHANGE IN RUN-OFF IS A FRACTIONAL DECREASE.

**TOILET FACILITIES**

270 PEOPLE = 135 MALE : 135 FEMALE  
REQUIRED WC URINALS LAV  
REQUIRED FEMALES 2 - 1  
MALES 2 - 1  
REQUIRED WC URINALS LAV  
REQUIRED FEMALES 3 3 2  
MALES 1 3 2

**RECEIVED**  
MAR 28 2008  
PUBLIC WORKS/SAFETY CODES  
UPPER MERION TOWNSHIP



REVISIONS

**MORAND ARCHITECTS, INC.**  
1276 WEST THIRD STREET  
CLEVELAND, OHIO 44113  
OFFICE: 216-861-2100 FAX 216-861-2614  
E-MAIL: KEVIN@KMORAND.COM

**SITE PLAN**

**HOOTERS**  
**KING OF PRUSSIA**  
240 NORTH GULPH RD.,  
KING OF PRUSSIA, PA 19406

DATE: 3-19-08  
SCALE: AS NOTED  
DRAWN: J.P.  
JOB #08-ATT-002  
**SP.1**