

**APPLICANT:**  
HARVEY INDUSTRIES  
1400 MAIN STREET  
WALTHAM, MA 02451

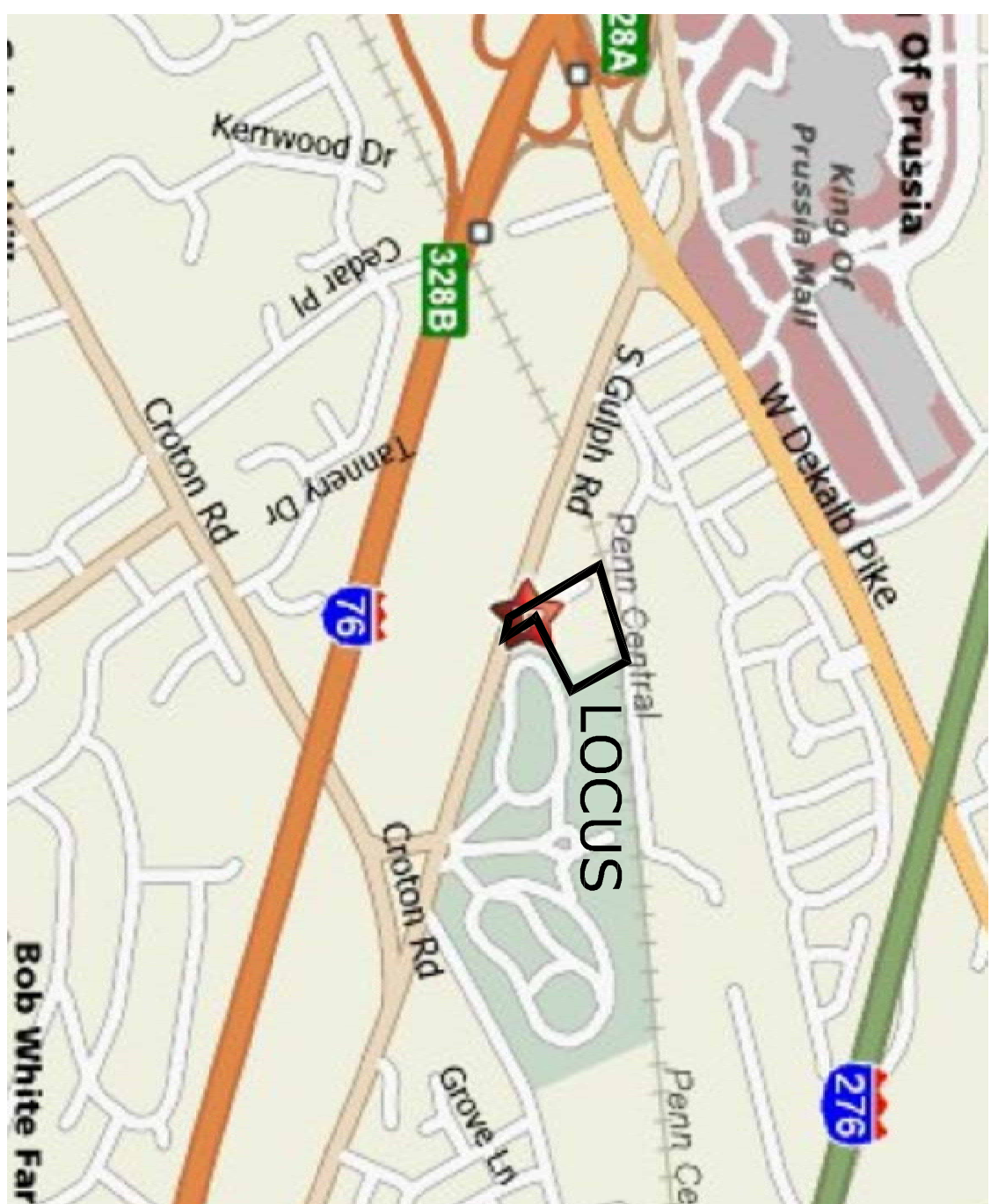
**RECORD OWNER:**  
LONG ROAD ASSOC LP  
P.O. BOX 707  
DEVON, PA 19333  
- DEED BOOK 5493 PAGE 01755

**STORMWATER MANAGEMENT NOTE:**

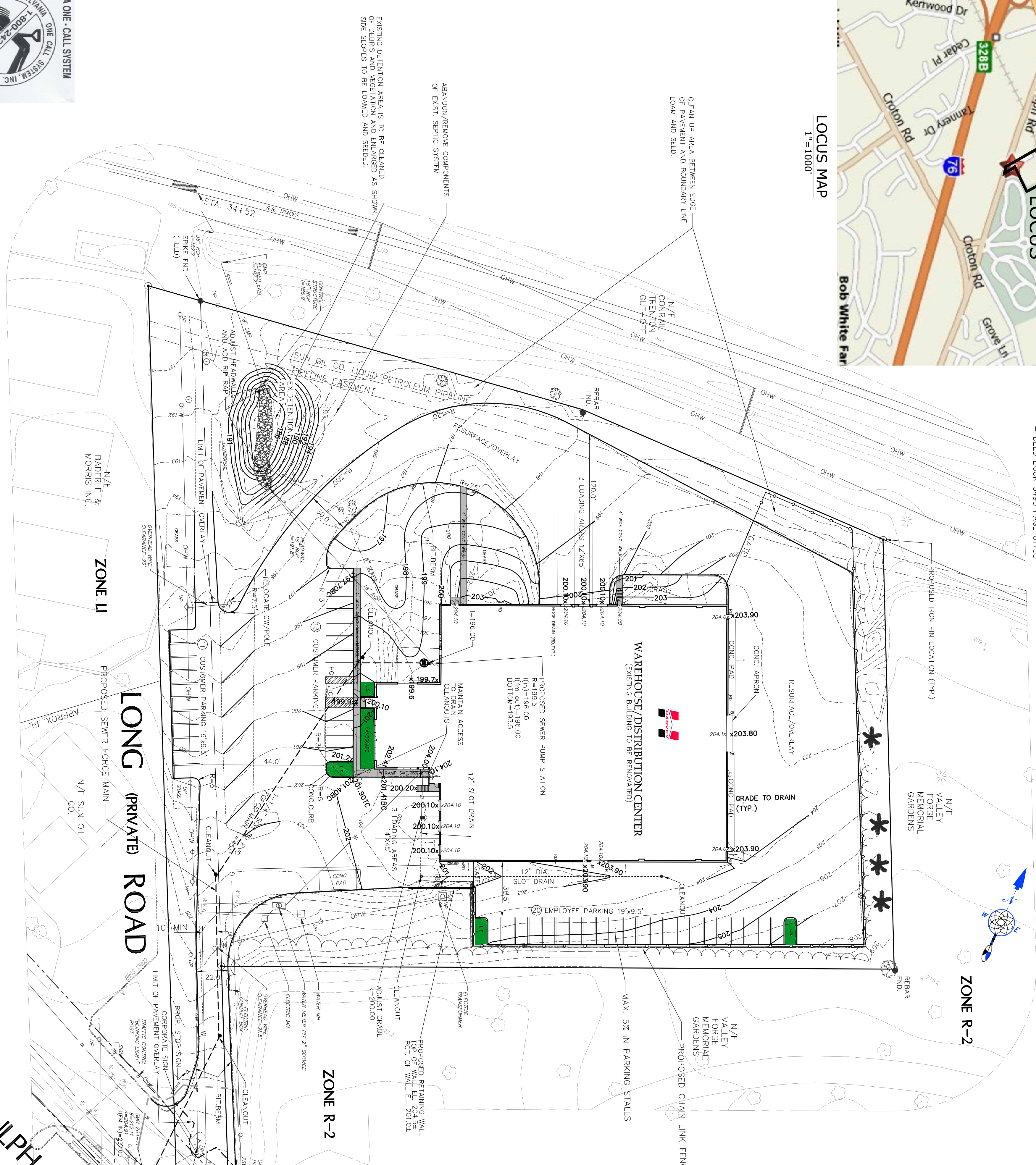
THE PROPERTY OWNER SHALL HAVE THE RESPONSIBILITY FOR THE PERPETUAL MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES. ANY CHANGES TO THE STORMWATER MANAGEMENT FACILITIES OR FINISH GRADING CHANGES SHALL BE MADE TO THE STORMWATER MANAGEMENT FACILITIES WITHIN PRIOR WRITTEN APPROVAL FROM THE TOWNSHIP. A BLANKET EASEMENT IS HEREBY GRANTED TO THE TOWNSHIP TO ENTER THE PROPERTY TO PERFORM MAINTENANCE AND REPAIRS TO THE STORMWATER MANAGEMENT FACILITIES. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE TOWNSHIP. THE TOWNSHIP SHALL LIEN THE PROPERTY FOR SAID COSTS UNTIL THE TOWNSHIP HAS BEEN REIMBURSED IN FULL.

**GENERAL CONSTRUCTION NOTES:**

- THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNLESS THEY HAVE BEEN REVISED AND APPROVED BY THE TOWNSHIP ENGINEER AND EACH DRAWING HAS BEEN REVISED TO INDICATE ISSUED FOR CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWNSHIP ZONING REGULATIONS AND ORDINANCES.
- ALL UTILITY PROVIDERS MUST BE NOTIFIED BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL GIVE TIMELY NOTICE TO PERMIT TOWNSHIP DEPARTMENTS BEFORE COMMENCING ANY WORK.
- ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO EQUAL OR BETTER CONDITION.
- ALL FINISHED SURFACES SHALL BE GRADED SMOOTHLY AND EVENLY.
- AT THE COMPLETION OF THE CONTRACTOR'S OPERATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL DRAINAGE STRUCTURES (NEW AND/OR EXISTING) OF DEBRIS.
- DO NOT SCALE PLANS. DUE TO REPROGRAPHIC STRETCH, PRINTS MAY NOT SCALE ACCURATELY. IF NUMERIC DIMENSIONING IS CORRECT, CONTACT DESIGN ENGINEER TO CLARIFY.
- FILL CONTAINING HAZARDOUS MATERIALS SHALL NOT BE USED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE RECORDS OF LOCATION AND ELEVATION OF ALL WORK INSTALLED.



LOCUS MAP  
1"=1000'



**DEVELOPMENT DATA:**

EXIST' /PROPOSED	BY CODE
4.98 ACRES (216,929 SF)	
42,268 SF	
39,500 SF	
18.2%	
-1,952 SF (REDUCED BASEMENT)	
40,316 SF	
39,642 SF	
18.3%	
30 FT	75% MAX.
30 FT	50 FT MAX.
37,632 SF	
63,720 SF	
139,070 SF	
64.1%	
35.9%	
112.7 FT*	15% MIN.
74.7 FT*	40 FT*
110.2 FT*	15 FT*
	20 FT*

**ZONING**  
LOT AREA  
EXISTING BUILDING GROSS FLOOR AREA  
EXISTING BUILDING GROUND COVERAGE AREA  
EXISTING BUILDING COVER AREA  
PROPOSED GROSS FLOOR AREA  
RESULTING TOTAL GROSS FLOOR AREA  
RESULTING TOTAL BUILDING COVER AREA  
RESULTING TOTAL BUILDING GROUND COVER AREA  
EXISTING BUILDING HEIGHT  
PROPOSED BUILDING HEIGHT  
EXISTING IMPERVIOUS SURFACE AREA  
PROPOSED IMPERVIOUS SURFACE AREA  
PROPOSED IMPERVIOUS AREA COVERAGE  
PROPOSED GREEN AREA COVERAGE  
FRONT YARD  
SIDE YARD  
REAR YARD

**PARKING ANALYSIS**  
4,700 SF OFFICE @1/250 SF = 19 SPACES  
10,000 SF WAREHOUSE @1/1000 SF = 10 SPACES  
28,000 SF WAREHOUSE @1/2000 SF = 14 SPACES  
TOTAL = 43 SPACES REQUIRED  
44 SPACES PROVIDED

**\*150 FT OF BUFFER FROM RESIDENTIAL DISTRICTS IS REQUIRED. SETBACKS ARE PRE-EXISTING.**

**PRIOR DECISIONS OF ZONING HEARING BOARD:**

- HEARING: 14 JUNE 1966  
DECISION: 22 JULY 1966  
APPROVED SPECIAL EXEMPTION FROM ARTICLE XIII, SECTION 1202E: BUILDING CONSTRUCTED WITHIN 150 FEET OF RESIDENTIAL DISTRICT.
- HEARING: 27 JULY 1976  
DECISION: 27 JULY 1976  
APPROVED SPECIAL EXEMPTION FROM ARTICLE XIII, SECTION 1202E: BUILDING ADDITION CONSTRUCTED WITHIN 150 FEET OF RESIDENTIAL DISTRICT. APPROVED SPECIAL EXEMPTION FROM ARTICLE XIII, SECTION 1501 D/AND VARIANCE FROM SECTION 1204: CONSTRUCTION OF 18 PARKING SPACES ALONG OPPOSITE SIDE OF LONG ROAD.
- HEARING: 11 APRIL 1985  
DECISION: 9 MAY 1985  
APPROVED SPECIAL EXEMPTION FROM ARTICLE XIII, SECTION 1202E: BUILDING ADDITION CONSTRUCTED WITHIN 150 FEET OF RESIDENTIAL DISTRICT. (ADDITION HAS NOT BEEN CONSTRUCTED)
- HEARING: 11 JUNE 1987  
DECISION: 18 JUNE 1987  
APPROVED MODIFICATION OF SPECIAL EXEMPTION GRANTED IN 1966: TO ALLOW OUTSIDE STORAGE OF CERTAIN MATERIALS, SUCH AS PIPES AND HEAVY FITTINGS.

- LIST OF REQUESTED WAIVERS:**
- S.L.O. SECTION 145-10.E: REDUCTION OF PAVEMENT WIDTH FROM 24 FT TO 22 FT.
  - S.L.O. SECTION 145-20.C(2): ELIMINATION OF SIDEWALK REQUIREMENT.



APPROVED BY THE BOARD OF SUPERVISORS OF UPPER MERION TOWNSHIP ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2008.

SECRETARY \_\_\_\_\_ TOWNSHIP ENGINEER \_\_\_\_\_ CHAIRMAN \_\_\_\_\_

Revisions: 5/30/2008 MISC. REVISIONS  
7/2/2008 REVIEW COMM.  
REVISIONS

250 Long Road  
King of Prussia Pennsylvania

TAX MAP ID: 58010 027  
PARCEL ID: 58-00-12781-00-4

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Project Title  
**HARVEY INDUSTRIES WAREHOUSE FACILITY**

LONG ROAD ASSOCIATES LLP  
P.O. BOX 707  
DEVON, PA 19333

Prepared for:  
**HARVEY INDUSTRIES**  
1400 MAIN STREET  
WALTHAM, MA 02451  
TEL: (781) 899-3500

Drawing Title  
**DEVELOPMENT PLAN**

DATE: 5/2/08  
Scale: 1"=40'  
0 20 40 80 100 FEET

SHEET 2