

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

SITUATED IN:
UPPER MERION TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

DEVELOPED BY:
INSITE REAL ESTATE INVESTMENTS, L.L.C.

PARCEL NO.: 58-00-06412-001; 58-00-06409-004; 58-00-04699-004

BOHLER ENGINEERING

CORPORATE OFFICE
 ● WARREN, NJ

CIVIL & CONSULTING ENGINEERS
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 ● PITTSBURGH, PA
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PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE - STOP CALL

PA 1
 1-800-242-1776

REVISIONS:

REV.	DATE	COMMENT	BY

PROJECT No.: PHL08-0303
 DRAWN BY: MGK
 CHECKED BY: C.B.
 DATE: 02/11/09
 SCALE: 1"=20'
 CAD ID.: PHL08-0303SITE-0

PROJECT:
**PRELIMINARY/FINAL
 LAND DEVELOPMENT
 PLANS**

FOR
**INSITE
 REAL ESTATE
 INVESTMENTS, LLC**

729-731 WEST DEKALB PIKE &
 113 CROCKETT ROAD
 KING OF PRUSSIA
 COMMONWEALTH OF PENNSYLVANIA

BOHLER ENGINEERING

1515 MARKET STREET, SUITE 920
 PHILADELPHIA, PA 19102
 PH: (267) 402-3400
 FX: (267) 402-3401
 www.bohlerengineering.com

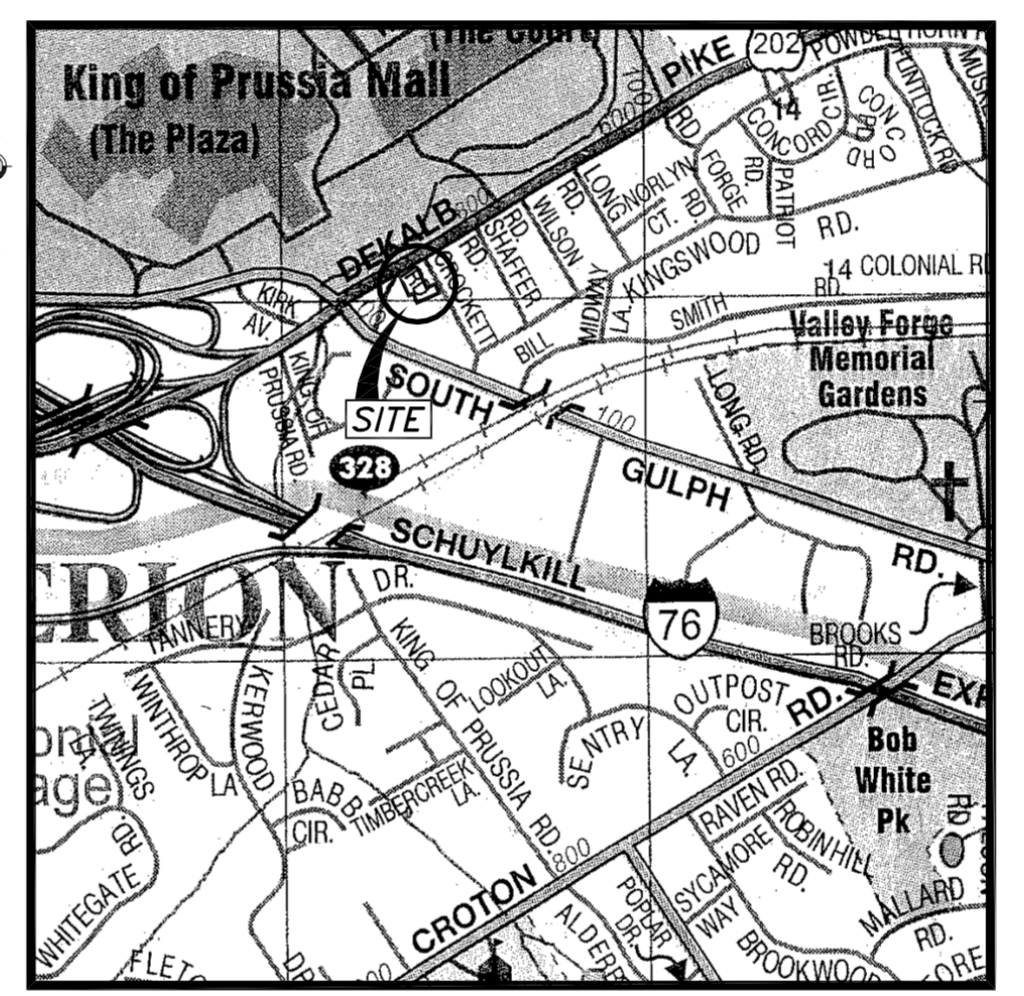
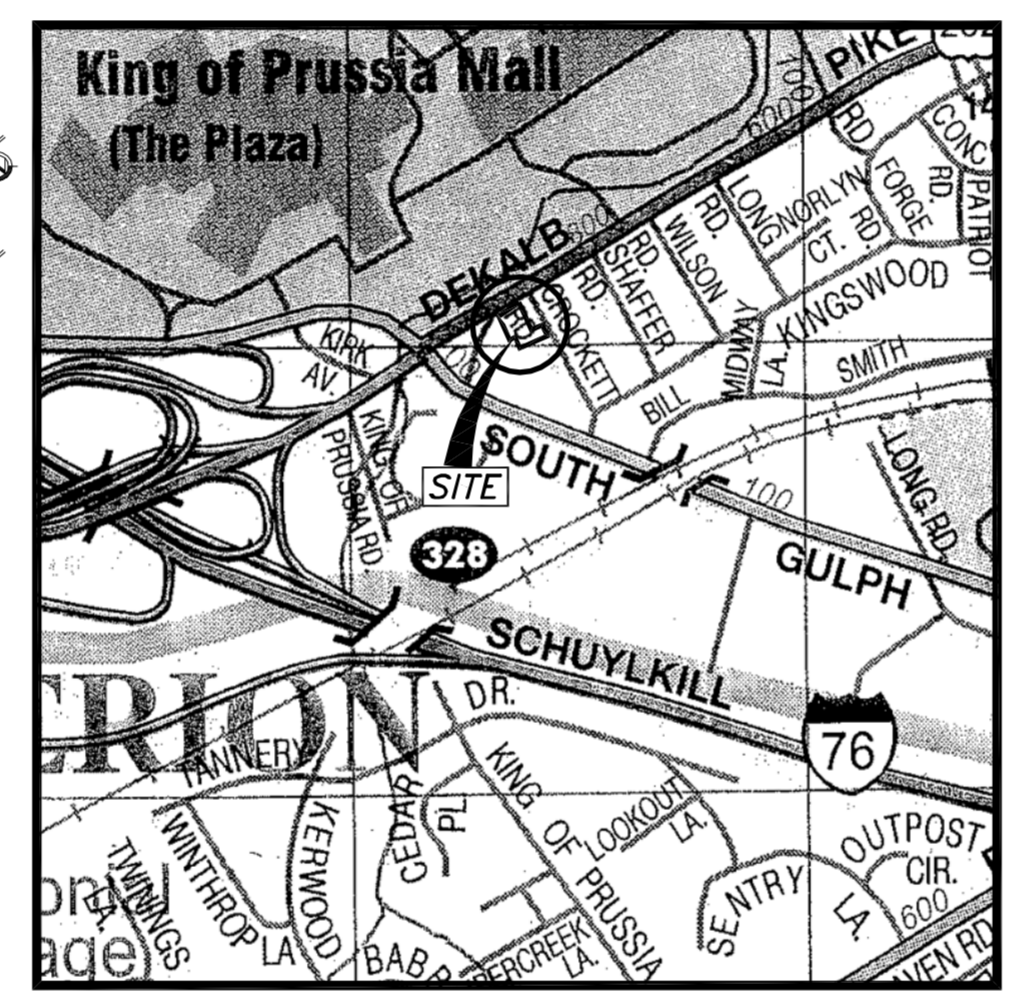
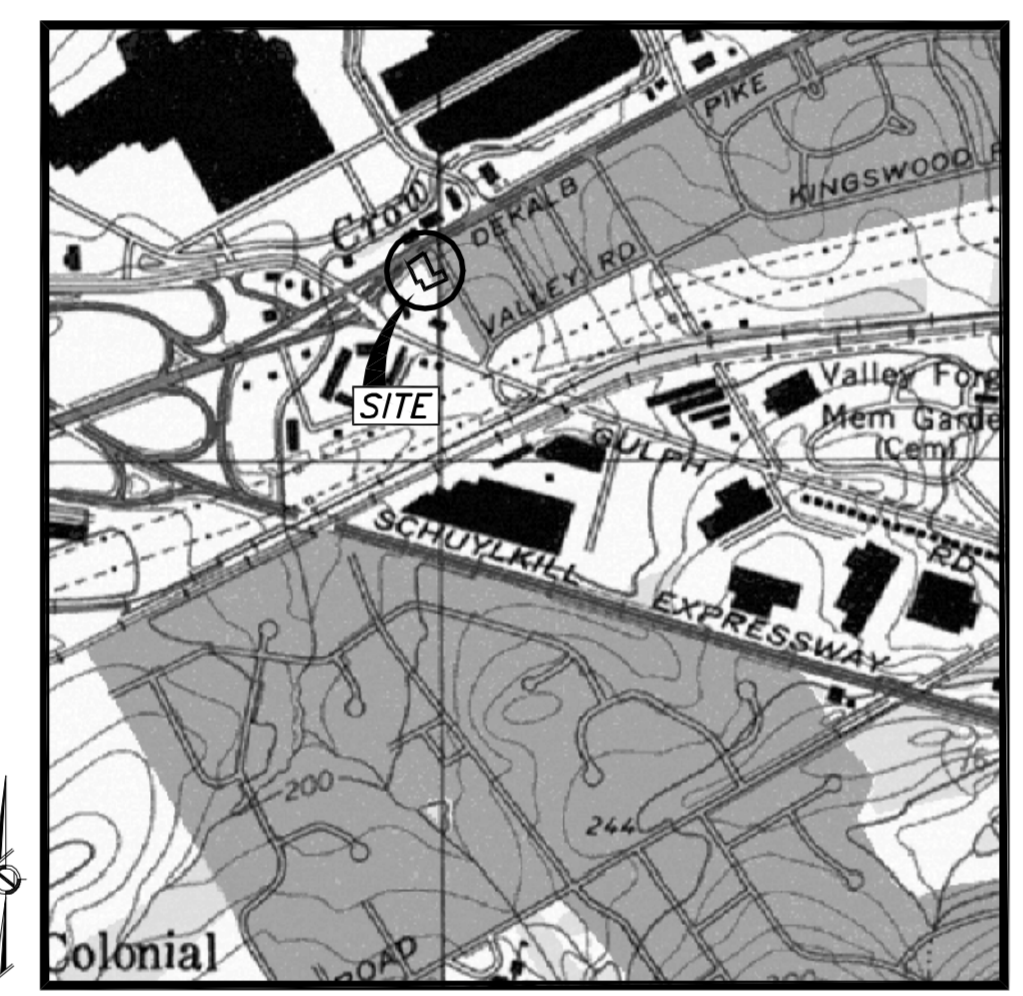
C. BROWN

PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE No. PE-075317

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
1
 OF 10

REVISION 0 - 2009.02.11



LIST OF DRAWINGS

SHEET	DESCRIPTION
1 OF 10	COVER SHEET
2 OF 10	EXISTING CONDITIONS/DEMOLITION PLAN
3 OF 10	SITE PLAN
4 OF 10	GRADING AND UTILITY PLAN
5 OF 10	EROSION AND SEDIMENTATION CONTROL PLAN
6 OF 10	EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS
7 OF 10	LANDSCAPE PLAN
8 OF 10	LANDSCAPE DETAILS
9 OF 10	LIGHTING PLAN
10 OF 10	DETAILS

CERTIFICATIONS & APPROVALS

Approved by the Upper Merion Township Planning Commission this _____ day of _____, 20__

Secretary
 Upper Merion Township
 Planning Commission

Reviewed by the Township Engineer
 on the day of _____, 20__

Township Engineer

Approved by the Board of Supervisors of Upper Merion Township this _____ day of _____, 20__

Chairman

Secretary

I hereby certify that this plan represents a survey made by me, that the monuments shown herein exist as located and that all dimensional details are correct.

Registered Engineer or Surveyor _____ Date _____
 (SEAL)

I hereby certify that _____ is the registered owner of the land here subdivided or developed, and that they do hereby adopt this plan and desire the same to be recorded.

 Name Title

I hereby certify the work described on this drawing will be constructed as shown and any construction changes shall have the prior written approval of the Township Engineer.

Authorized Signature _____ Title _____
 Date _____

Recorded in the office of the Recorder of Deeds, Montgomery County, Pennsylvania in the Plan Book _____ Page _____ on the _____ day of _____, 20__

Recorder

MCP No. _____

PROCESSED and REVIEWED. A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipalities Planning Code.

Certified this date _____

 For the Director
 Montgomery County Planning Commission

COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF _____

On the _____ day of _____, A.D. 20__ before me the subscriber, a Notary Public of the State of Pennsylvania Residing in _____ personally appeared _____ who acknowledged himself to be the _____ of _____ being authorized to do so, he executed the foregoing plan by signing by himself as _____ that he is the owner of the designated land, that all necessary approvals of the plan have been obtained and is there endorsed thereon, and that they desire the foregoing plan to be duly recorded.

 Notary Public

My Commission Expires: _____, 20__

REQUESTED WAIVERS

SECTION 140.10.A.2 : A WAIVER IS REQUESTED TO GRADE WITHIN 5' OF THE PROPERTY LINES.

SECTION 140-13.D: A WAIVER IS REQUESTED TO PERMIT CONSTRUCTION OF THE BUILDING AT THE SAME TIME PARKING AREAS ARE ROUGH GRADED.

SECTION 145-24.1.E.2.A: A WAIVER IS REQUESTED FROM PROVIDING STREET TREES ON THE DEKALB PIKE FRONTAGE.

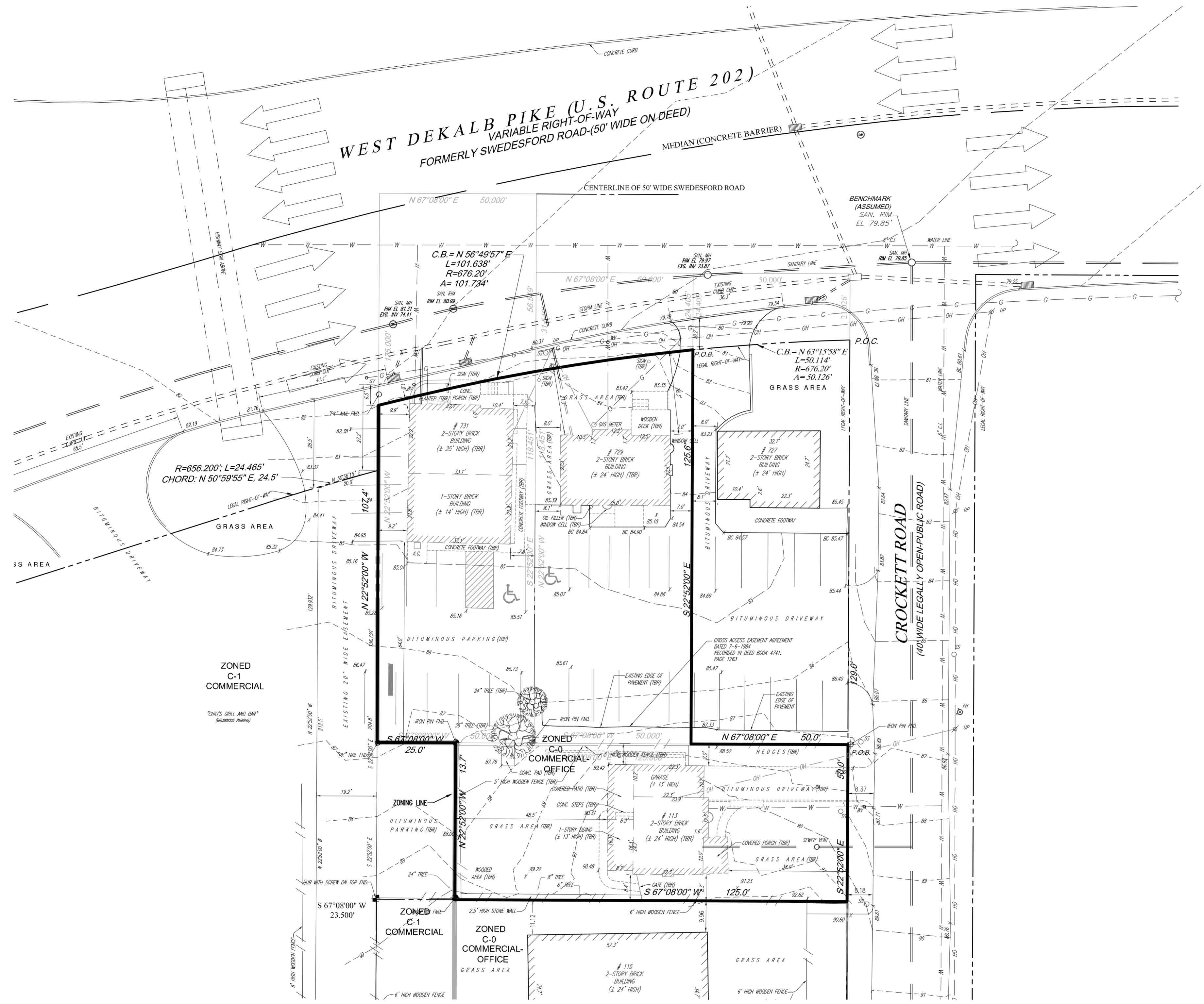
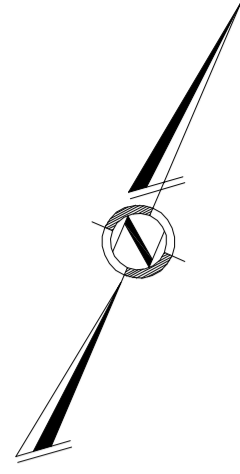
SECTION 145-24.1.G. TABLE 1: A WAIVER IS REQUESTED FROM PROVIDING A SOFTENING BUFFER ALONG THE WEST PROPERTY LINE.

SECTION 145-24.1.G.3.A: A WAIVER IS REQUESTED FROM PROVIDING A BUFFER AREA OF 15' ALONG THE PROPERTY LINES.

SECTION 145-24.1.D.2.E.: A WAIVER IS REQUESTED TO PERMIT PLANTING ISLANDS LESS THAN THE REQUIRED 9'X18'.

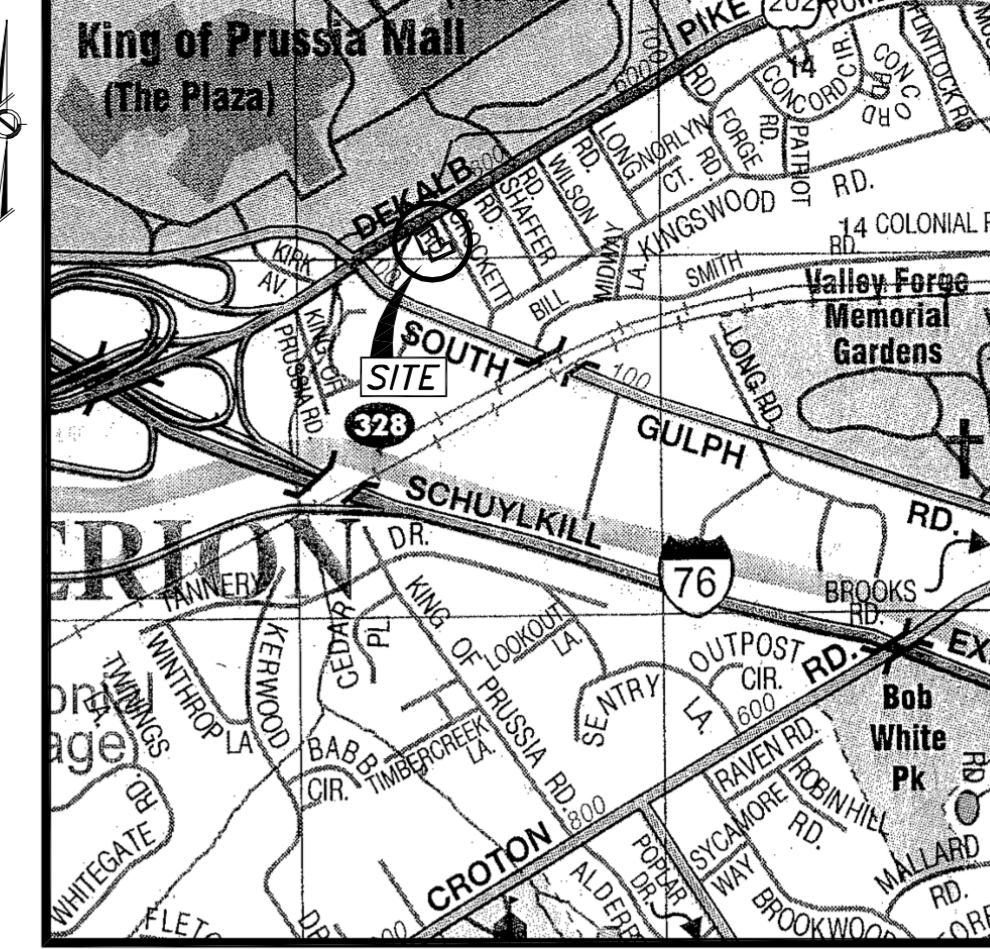
SECTION 145-24.1.D.2.F.: A WAIVER IS REQUESTED TO PERMIT A PLANTING STRIP LESS THAN THE REQUIRED 10' WIDTH.

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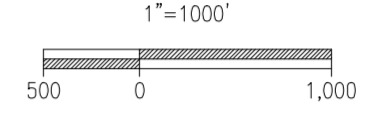


EXISTING CONDITIONS LEGEND

- EXISTING TRACT BOUNDARY
- LEGAL R.O.W. LINE
- - - EXISTING EASEMENT
- - - EXISTING ADJACENT TRACT LINE
- - - EXISTING FENCE
- - - EXISTING STORM SEWER LINE
- - - EXISTING SANITARY SEWER LINE
- OH — OH EXISTING OVERHEAD UTILITY WIRES
- G — G EXISTING GAS MAIN
- E — E EXISTING ELECTRIC LINE
- W — W EXISTING WATER MAIN
- OH — OH EXISTING OVERHEAD UTILITY WIRES
- - - EXISTING CONTOUR W/ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING IRON PIN OR PK NAIL
- EXISTING MANHOLE
- EXISTING STORM INLET
- EXISTING UTILITY POLE
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING TREES



LOCATION MAP



NOTES

- 1.) THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
 - a.) AMBRIC TECHNOLOGY CORPORATION
100 PINE STREET
COLUYN, PA 19023
ENTITLED: ALTA/ACSM LAND TITLE SURVEY
PREPARED FOR: INSITE REAL ESTATE, LLC
FILE NO: 508-4752
DATED: 9-7-08
- 2.) THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO INSURE PUBLIC AND CONTRACTOR SAFETY.
- 3.) ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND REFERENCED DOCUMENTS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THE ENGINEER IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF ACTIVITY.
- 4.) PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
 - A. ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW.
 - B. THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE.
 - C. ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE, SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
 - D. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - E. FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENT AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - F. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
 - G. A COMPLETE INSPECTION FOR CONTAMINANTS, BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS SOLELY THE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- 5.) THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE ON OR OFF SITE.
- 6.) IN THE ABSENCE OF SPECIFIC REQUIREMENTS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S GEOTECHNICAL ENGINEER.
- 7.) EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE ENVIRONMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- 8.) CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
- 9.) THE CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENT AUTHORITY WHERE REQUIRED.
- 10.) DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINES, WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- 11.) USE DUST CONTROL MEASURES TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR TO WITHIN FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- 12.) THE CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 13.) THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- 14.) THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- 15.) DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF HAZARDOUS/UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.
- 16.) DEMOLITION OF THE EXISTING STRUCTURES AND FOUNDATIONS SHOULD INCLUDE FULL REMOVAL OF ALL REMNANT UTILITIES, FOOTINGS, FOUNDATION WALLS, AND SLABS. REMNANT FOUNDATIONS AND SLABS MAY REMAIN IN PLACE TWO FEET BELOW PAVEMENT SUBGRADES AND LANDSCAPED AREAS, PROVIDED THEY ARE ADEQUATELY BROKEN TO PROMOTE POSITIVE DRAINAGE AND THAT THEY WILL NOT INTERFERE WITH FUTURE CONSTRUCTION. THE RESULTING EXCAVATIONS SHOULD BE BACKFILLED WITH STRUCTURAL FILL PLACED IN MAXIMUM NINE INCH LOOSE LIFTS AND COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557). ANY IMPORTED MATERIAL PLACED AS STRUCTURAL FILL OR BACKFILL TO RAISE ELEVATIONS OR RESTORE GRADES SHOULD CONSIST OF CLEAN, RELATIVELY WELL GRADED SAND OR GRAVEL WITH A MAXIMUM PARTICLE SIZE OF THREE INCHES AND FIVE PERCENT TO 20 PERCENT OF MATERIAL FINER THAN A #200 SIEVE. SILTY OR CLAYEY SANDS AND GRAVELS WITH HIGHER PERCENTAGE OF FINES AND WITH A LIQUID LIMIT LESS THAN 40 AND A PLASTICITY INDEX LESS THAN 12 MAY BE CONSIDERED SUBJECT TO THE OWNER'S APPROVAL, PROVIDED THAT THE REQUIRED MOISTURE CONTENT AND COMPACTION CONTROLS ARE MET. THE MATERIAL SHOULD BE FREE OF CLAY LUMPS, ORGANICS, AND DELETERIOUS MATERIAL. IMPORTED STRUCTURAL FILL MATERIAL SHOULD BE APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO DELIVERY TO THE SITE.

BOHLER ENGINEERING

CORPORATE OFFICE
WARREN, NJ

CIVIL & CONSULTING ENGINEERS
SURVEYORS

PROJECT MANAGERS
ENVIRONMENTAL ENGINEERS
LANDSCAPE ARCHITECTS

SOUTH BRUNSWICK, NJ
TOWSON, MD
ROCKFORD, ILL
CHESBROUGH, VA
FORT LAUDERDALE, FL
PHILADELPHIA, PA
PHILADELPHIA, PA

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PROJECT No.:	PHL08-0303
DRAWN BY:	MGK
CHECKED BY:	C.B.
DATE:	02/11/09
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CAD ID.:	PHL08-0303SITE-0

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**PRELIMINARY/FINAL
LAND DEVELOPMENT
PLANS**

FOR

**INSITE
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INVESTMENTS, LLC**

729-731 WEST DEKALB PIKE &
113 CROCKETT ROAD
KING OF PRUSSIA
COMMONWEALTH OF PENNSYLVANIA

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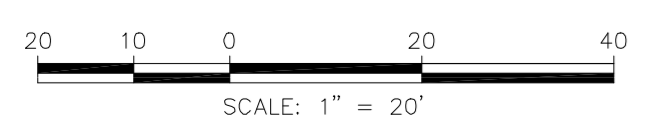
C. BROWN

PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE No. PE-075317

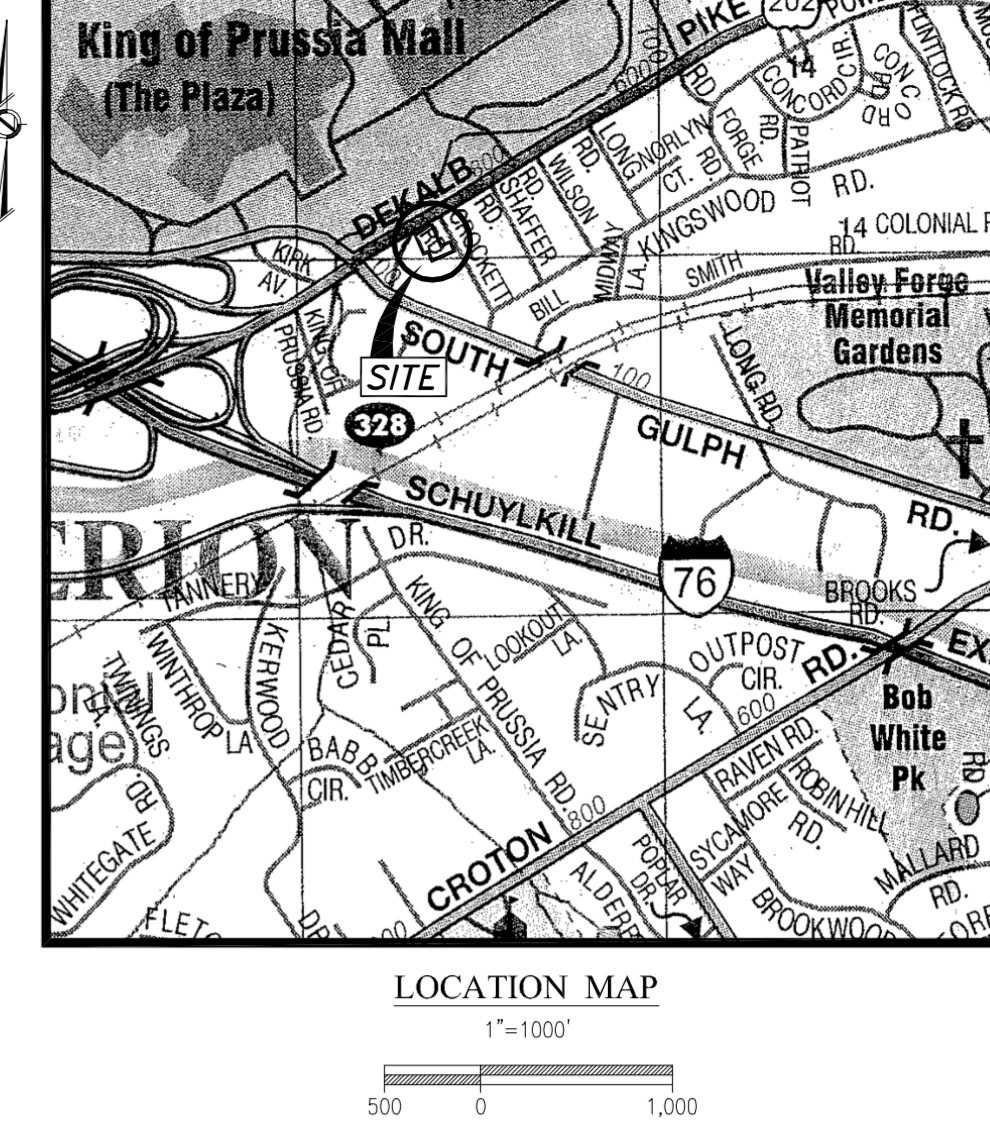
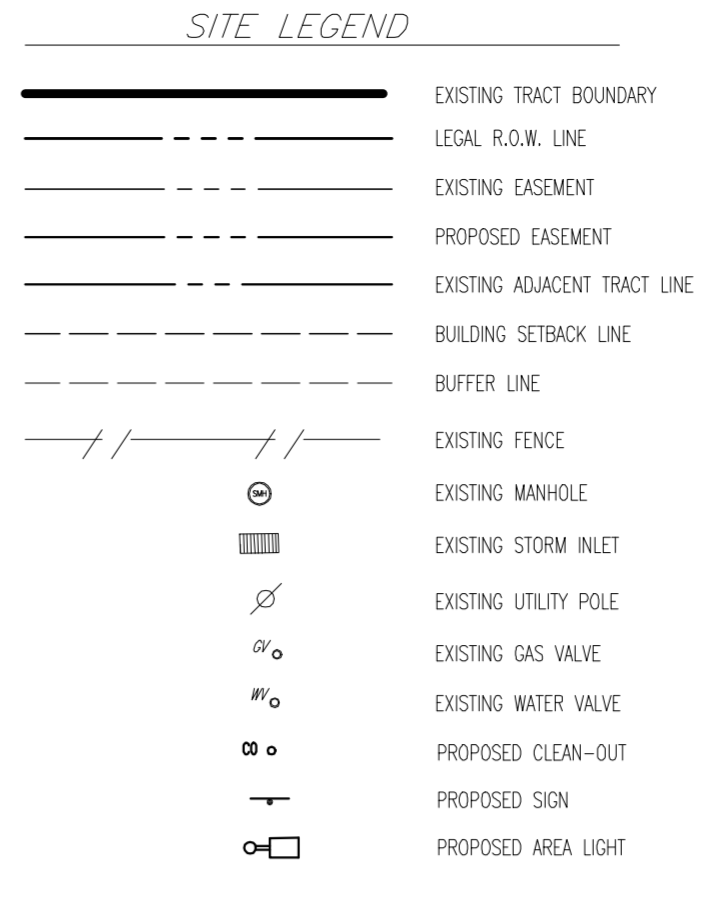
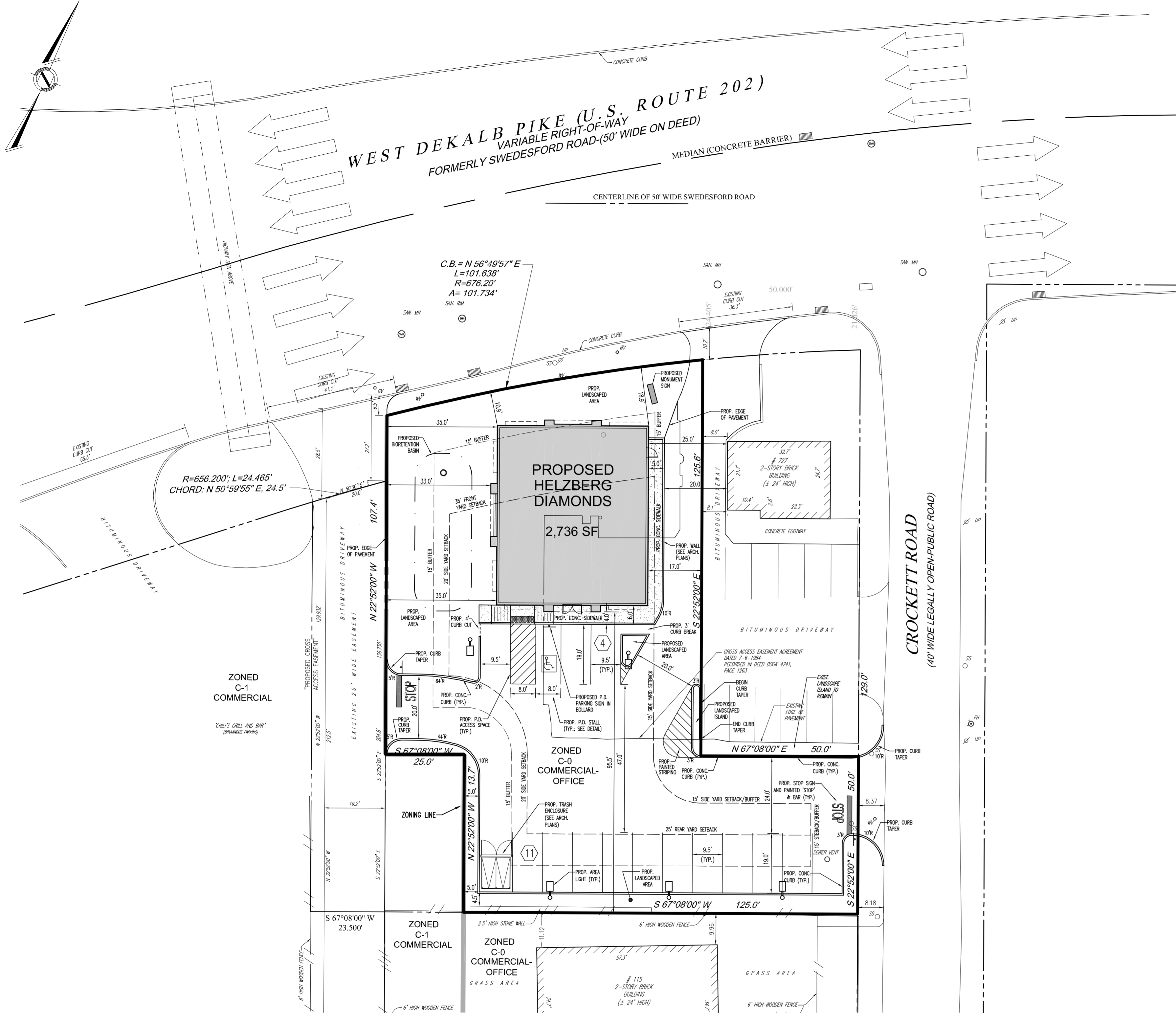
SHEET TITLE:
**EXISTING
CONDITIONS /
DEMOLITION
PLAN**

SHEET NUMBER:
2
OF 10

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SCALE: 1" = 20'



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WARREN, NJ

SURVEYORS
SOUTH BRUNSWICK, NJ
BOWEN, MD
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PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE-075317

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
3
OF 10

REVISION 0 - 2009.02.11

SITE / RECORD PLAN GENERAL NOTES

- THIS DRAWING REFERENCES PLANS BY:
 - AMBRIC TECHNOLOGY CORPORATION
100 PINE STREET
COLWYN, PA 19023
ENTITLED: ALTA/ACSM LAND TITLE SURVEY
PREPARED FOR: INSITE REAL ESTATE, LLC
FILE NO: 508-4752
DATED: 9-7-08
 - REPORT OF GEOTECHNICAL INVESTIGATION
PREPARED FOR: INSITE REAL ESTATE, LLC
PREPARED BY: DYNAMIC EARTH
DATED: 9-15-08
PROJECT#: 0348-08-001EC
- CONTRACTOR IS RESPONSIBLE TO OBTAIN THESE DOCUMENTS AND FAMILIARIZE HIMSELF WITH SAME FOR APPLICATION BOTH PRIOR TO AND DURING CONSTRUCTION.
- ALL ELEVATIONS SHOWN ARE IN ACCORDANCE WITH THE REFERENCED SURVEYOR'S BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUNDBREAK.
- APPLICANT: INSITE REAL ESTATE INVESTMENT, LLC OR ASSIGNEE
- LANDS OF: GERALD S. & DOROTHY J. NACHMAN; DEALER PROFIT CENTERS, LLC; ROBERT GRAF
- EQUITABLE OWNER: INSITE REAL ESTATE INVESTMENTS, LLC OR ASSIGNEE
- PARCEL DATA: 58-00-06412-001; 58-00-06409-004; 58-00-04699-004
- ALL A.D.A. ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED TO MEET CURRENT A.D.A. REQUIREMENTS, AS AMENDED.
- ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
- FEATURES TO BE REMOVED ARE NOTED (TBR).
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY/ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATE OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO PROCUREMENT OF SERVICES, SCHEDULING OF FIELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES. CONTRACTOR IS RESPONSIBLE TO COORDINATE CERTIFICATIONS, SIGN-OFFS, ETC. NECESSARY FOR JOB CLOSE-OUT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, REFERENCED DOCUMENTS, AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN SOILS REPORT & PLANS, ETC.
- THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY OUR OFFICE IF ACTUAL SITE CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS AND SITE LIGHTING ELECTRICAL DESIGN AND LAYOUT.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE & DISPOSE OF HAZARDOUS/UNSATISFACTORY MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES & LAWS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ADJACENT TO PAVEMENT, STRUCTURE, ETC. TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT TO REMAIN, AND PROVIDE A SAFE WORK AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECT CABLE, CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIR SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
- ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED IN SPECIFICATIONS AND REFERENCED DOCUMENTS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD WHEN A CONFLICT IS IDENTIFIED.
- THE ENGINEER OF RECORD HEREIN IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS HE BEEN RETAINED FOR SUCH PURPOSES.
- ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, INC. ITS SUB CONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING, INC. WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS BOHLER ENGINEERING, INC. AND ITS SUB CONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, INC. NOR THE PRESENCE OF BOHLER ENGINEERING, INC. OR ITS EMPLOYEES AND SUB CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. BOHLER ENGINEERING, INC. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING, INC. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- BOHLER ENGINEERING, INC. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. BOHLER ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT BOHLER ENGINEERING, INC. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF BOHLER ENGINEERING, INC. IN WRITING BY THE CONTRACTOR. BOHLER ENGINEERING, INC. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.

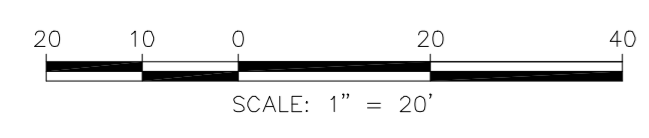
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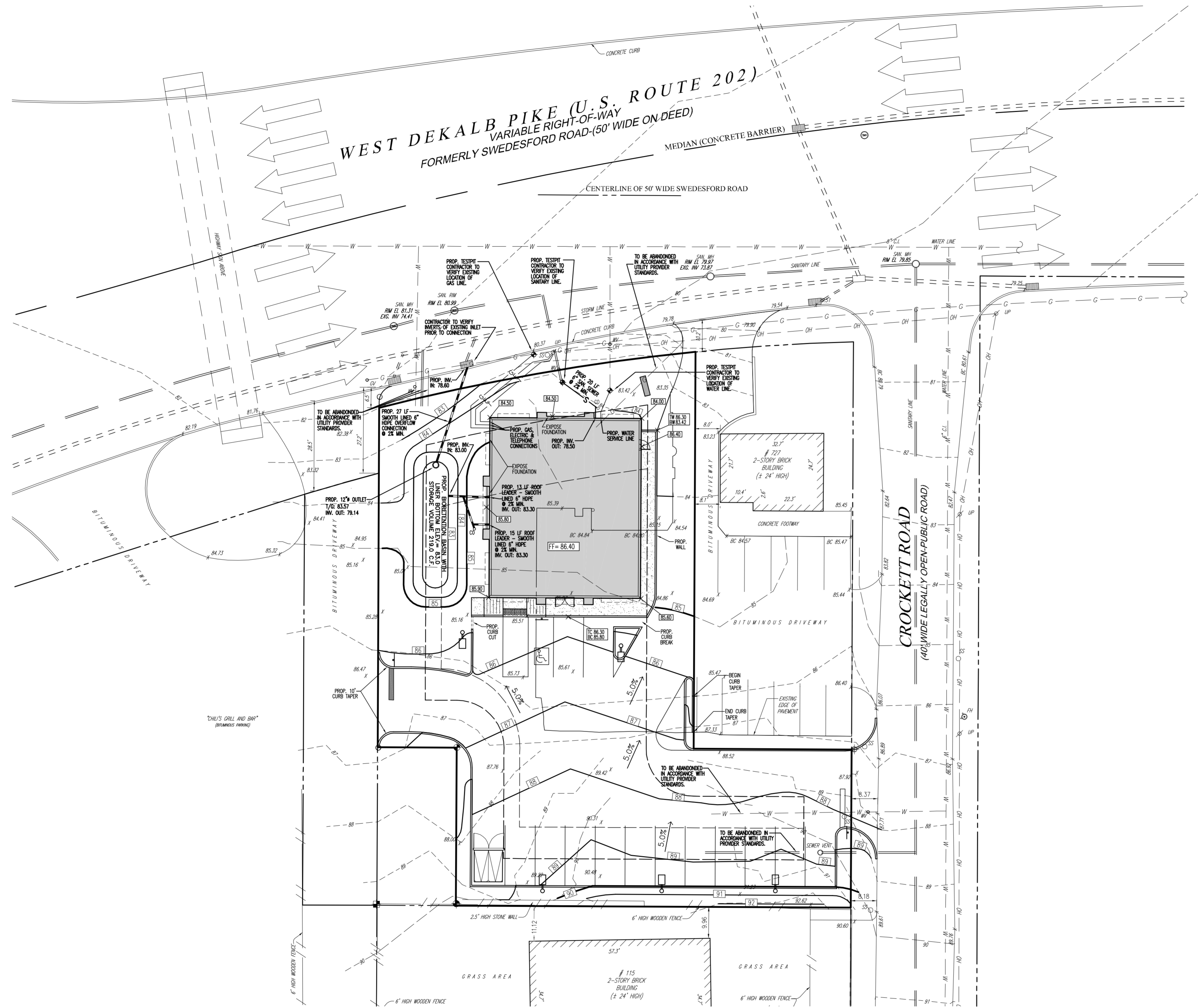
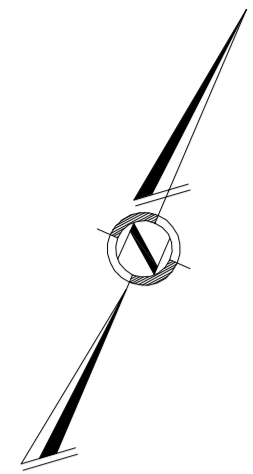
PARCEL DATA: 58-00-06412-001; 58-00-06409-004; 58-00-04699-004
ZONE: COMMERCIAL OFFICE
PROPOSED USE: JEWELRY STORE

	REQUIRED	EXISTING	PROPOSED
MIN. BUILDING SETBACKS:			
FRONT:	35'	1.8' *	10.9' (V)
SIDE:	15' (35' AGGREGATE)	7.0' (16.2' AGGREGATE) *	17.0' (50.0' AGGREGATE)
REAR:	25'	8.3' *	95.5'
MAX. BUILDING COVERAGE:	25%	19.00% (3,422 SF)	15.17% (2,736 SF)
MAX. BUILDING HEIGHT:	35'	<35'	24.5'
MIN. GREEN SPACE:	25%	33.92% (6,115 SF)	28.71% (5,177 SF)
MIN LOT AREA:	4.25 ACRES	0.41 ACRES * (18,030 SF)	0.41 ACRES * (V) (18,030 SF)
MIN LOT WIDTH: (AT BUILDING LINE)	300'	101' *	101' *(V)

PARKING DATA:
RETAIL SALES AND SERVICE NOT OTHERWISE SPECIFIED: 4 SPACES / 1000 SF OF GFA
REQUIRED: 11 SPACES (2,736 / 1000 + 4 = 10.94)
PROVIDED: 15 SPACES (INCLUDING 1 SPACE FOR THE PHYSICALLY DISABLED)

* - DENOTES EXISTING NON-CONFORMITY
(V) - VARIANCE GRANTED





GRADING & UTILITY LEGEND

- EXISTING TRACT BOUNDARY
- LEGAL R.O.W. LINE
- - - EXISTING EASEMENT
- - - EXISTING ADJACENT TRACT LINE
- / / — EXISTING FENCE
- — — EXISTING STORM SEWER LINE
- — — EXISTING SANITARY SEWER LINE
- OH — OH — EXISTING OVERHEAD UTILITY WIRES
- G — G — EXISTING GAS MAIN
- E — E — EXISTING ELECTRIC LINE
- W — W — EXISTING WATER MAIN
- OH — OH — EXISTING OVERHEAD UTILITY WIRES
- S — S — S — PROPOSED STORM SEWER LINE
- S — S — S — PROPOSED SANITARY
- E — E — E — PROPOSED ELECTRICAL LINE
- T — T — T — PROPOSED TELEPHONE LINE
- G — G — G — PROPOSED GAS LINE
- W — W — W — PROPOSED WATER LINE
- — — — — EXISTING CONTOUR W/ELEVATION
- 83.23' EXISTING SPOT ELEVATION
- 83.24' PROPOSED CONTOUR W/ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB / BOTTOM OF CURB ELEVATIONS
- PROPOSED TOP OF WALL / BOTTOM OF WALL ELEVATIONS
- EXISTING IRON PIN OR PK NAIL
- ⊙ EXISTING MANHOLE
- ⊞ EXISTING STORM INLET
- ⊕ EXISTING UTILITY POLE
- ⊙ EXISTING GAS VALVE
- ⊙ EXISTING WATER VALVE

GRADING & UTILITY NOTES

- 1.) THE LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2.) ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE, SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER.
- 3.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS, SPECIFICATIONS, AND REFERENCED DOCUMENTS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- 4.) DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE NOT TO REMAIN. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- 5.) THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- 6.) THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE TOWN UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE CONFLICTS EXIST WITH THESE PLANS, THE ENGINEER OF RECORD SHALL BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME.
- 7.) WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- 8.) ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- 9.) ALL UTILITIES SHOULD BE KEPT TEN (10) FEET APART (PARALLEL), OR WHEN CROSSING, AT 18 INCHES VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE) PROVIDE 4.0 FEET OF COVER OVER WATER LINES. A MINIMUM OF 18 INCHES SHALL BE MAINTAINED BETWEEN SANITARY SEWER LINES AND STORM LINES OR WATER LINES. IF THE MINIMUM CLEARANCE CAN NOT BE MAINTAINED, A CONCRETE ENCASUREMENT SHALL BE PROVIDED.
- 10.) ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AT ALL CHANGES ON DIRECTION, AND/OR AS DEFINED IN THE SPECIFICATIONS/DETAILS.
- 11.) THE INSTALLATION OR REPAIR OF ANY UNDERGROUND FACILITIES OR PIPING WHICH CONNECTS TO OR FURNISHES WATER FOR THE FIRE PROTECTION SPRINKLER SYSTEM SHALL BE PERFORMED ONLY BY A LICENSED UTILITY CONTRACTOR, FIRE PROTECTION SPRINKLER CONTRACTOR, OR LICENSED PLUMBER. SEE O.C.G.A. TITLE 25, 11-7-(1). A COPY OF THE LICENSE OR CERTIFICATE OF COMPETENCY SHALL BE PROVIDED TO THE INSPECTOR AT THE FINAL INSPECTION.
- 12.) SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND REFERENCED DOCUMENTS, AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN COMPACTOR REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- 13.) SEE SPECIFICATIONS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCH. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- 14.) THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTRY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- 15.) PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPIILING OF DEBRIS WILL NOT BE PERMITTED.
- 16.) THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH THE GRADING AND UTILITY PLAN(S). THE SANITARY CLEANOUT TOPS SHALL BE RE-INSTALLED IN THE SAME MANNER AS THE ORIGINAL CLEANOUTS.
- 17.) THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, AND 2.0% MINIMUM IN LANDSCAPED AREAS TO PREVENT FLOODING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- 18.) PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING OUT SHEETS PRIOR TO INSTALLATION.
- 19.) REFER TO THE SITE / RECORD PLAN FOR ADDITIONAL NOTES.
- 20.) IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE / RECORD PLAN WILL SUPERSEDE IN ALL CASES. THE ENGINEER OF RECORD MUST BE IMMEDIATELY NOTIFIED IN WRITING OF ANY CONFLICTS.
- 21.) THE CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS (INCLUDING D.E.P., ETC.) FOR ALL OFF-SITE HAUL AND/OR BORROW SITES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.
- 22.) TOP AND BOTTOM OF WALL ELEVATIONS (TW & BW) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF WALL AND DO NOT REPRESENT THE ELEVATION OF THE PROPOSED WALL (INCLUDING THE CAP UNIT OR FOOTING). THE CONTRACTOR MUST ENSURE ALL WALLS SHOWN HEREON MUST BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER AND THAT SIGNED AND SEALED SHOP DRAWINGS ARE APPROVED BY THE MUNICIPALITY PRIOR TO THEIR CONSTRUCTION. FURTHER THE CONTRACTOR SHALL ENSURE THAT FENCING, GUIDERAIL, UTILITIES, AND OTHER SITE AMENITIES IN THE VICINITY OF THE RETAINING WALL(S), PROPOSED SCHEMATICALLY IN THESE PLANS, SHALL BE CONSIDERED AND INCORPORATED INTO THE RETAINING WALL DESIGN (BY OTHERS).

BOHLER ENGINEERING

CORPORATE OFFICE
 ● WARREN, NJ

SURVEYORS
 ● SOUTH BRUNSWICK, NJ
 ● ALBANY, NY
 ● BIRMINGHAM, AL
 ● BOSTON, MA
 ● CHICAGO, IL
 ● CHILMARK, MA
 ● FORT LAUDERDALE, FL
 ● FORT MYERS, FL
 ● FORT WORTH, TX
 ● GAITHERSBURG, MD
 ● GREENSBORO, NC
 ● HARTFORD, CT
 ● HUNTSVILLE, AL
 ● KANSAS CITY, MO
 ● LITTLE ROCK, AR
 ● LITTLETON, CO
 ● MEMPHIS, TN
 ● MIAMI, FL
 ● MINNEAPOLIS, MN
 ● NASHVILLE, TN
 ● NEW YORK, NY
 ● OKLAHOMA CITY, OK
 ● OMAHA, NE
 ● ORLANDO, FL
 ● PHOENIX, AZ
 ● RICHMOND, VA
 ● RIVERSIDE, CA
 ● SAN ANTONIO, TX
 ● TAMPA, FL
 ● TULSA, OK
 ● WASHINGTON, DC
 ● WASHINGTON, VA
 ● WEST PALM BEACH, FL
 ● WICHITA, KS
 ● WILMINGTON, DE

PROJECT MANAGERS
 ENVIRONMENTAL ENGINEERS
 LANDSCAPE ARCHITECTS

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE - STOP CALL

PA 1
 1-800-242-1776

REVISIONS:			
REV.	DATE:	COMMENT:	BY:

PROJECT No.:	PHL08-0303
DRAWN BY:	MGK
CHECKED BY:	C.B.
DATE:	02/11/09
SCALE:	1"=20'
CAD ID.:	PHL08-0303SITE-0

PROJECT:

**PRELIMINARY/FINAL
 LAND DEVELOPMENT
 PLANS**

FOR

**INSITE
 REAL ESTATE
 INVESTMENTS, LLC**

729-731 WEST DEKALB PIKE &
 113 CROCKETT ROAD
 KING OF PRUSSIA
 COMMONWEALTH OF PENNSYLVANIA

**BOHLER
 ENGINEERING**

1515 MARKET STREET, SUITE 920
 PHILADELPHIA, PA 19102
 PH: (267) 402-3400
 FX: (267) 402-3401
 www.bohlerengineering.com

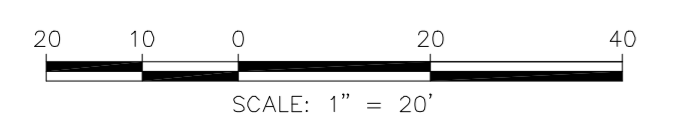
C. BROWN

PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE No. PE-075317

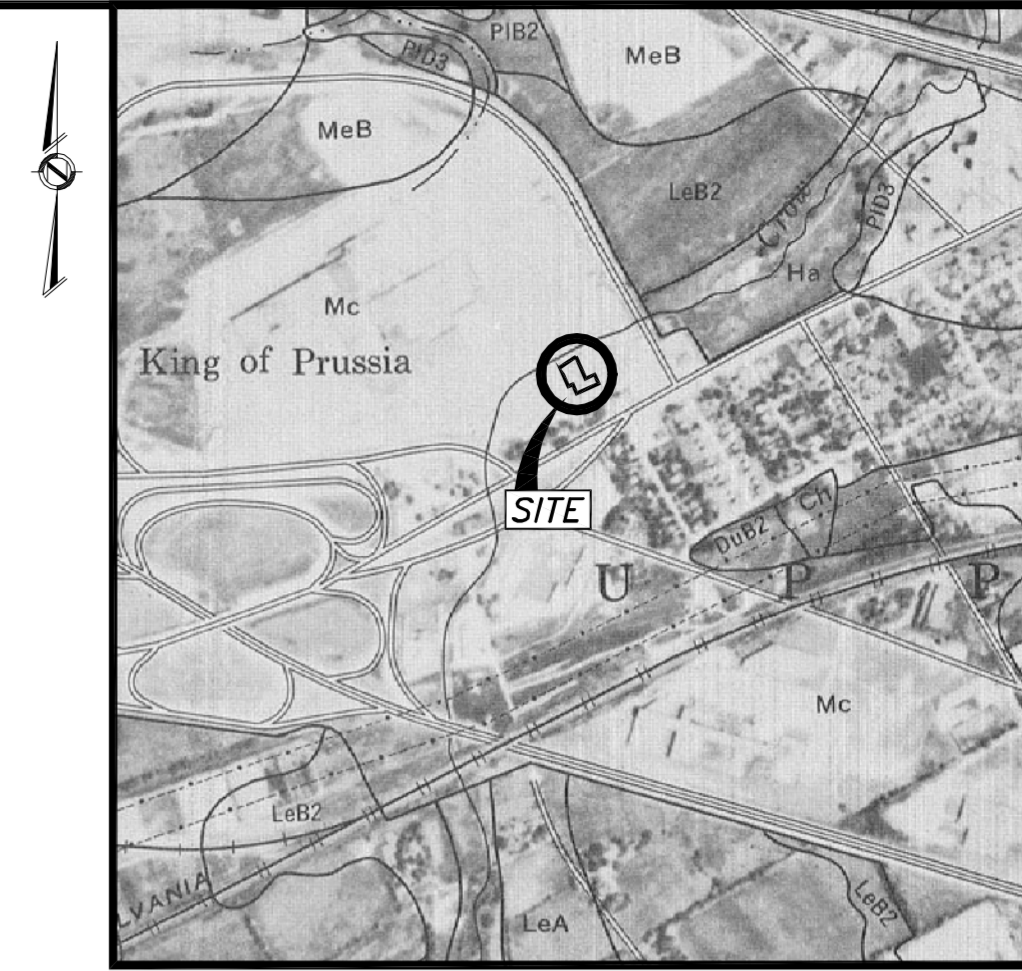
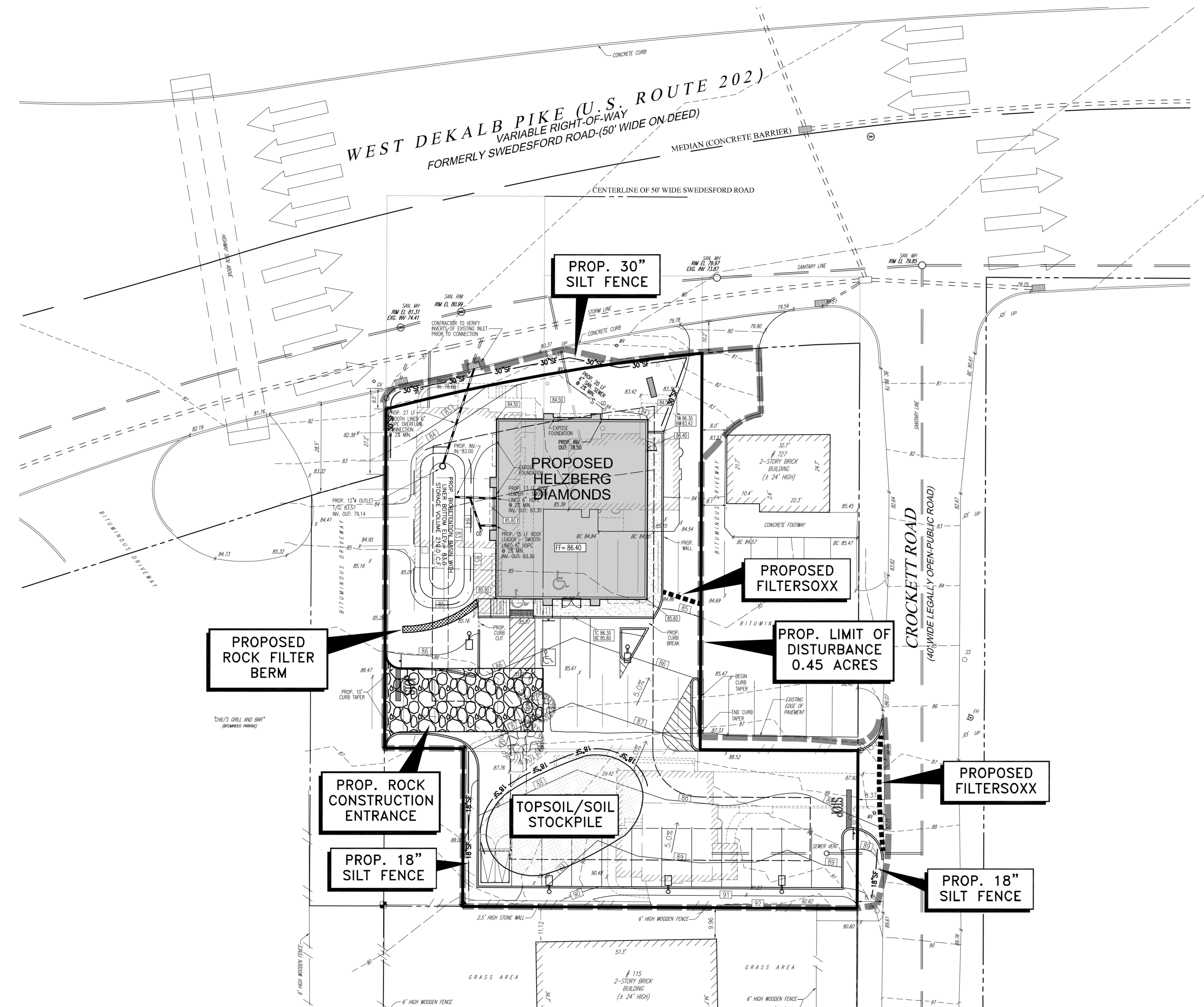
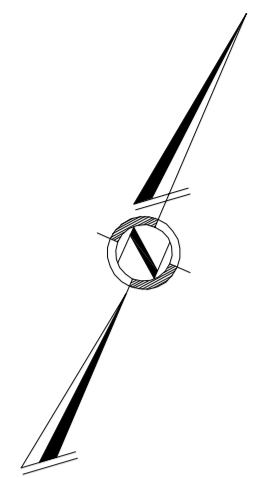
SHEET TITLE:

**GRADING
 & UTILITY
 PLAN**

SHEET NUMBER:
 4
 OF 10



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SOIL BOUNDARY MAP
1"=1000'
500 0 1,000

MAP SYMBOL	SOIL DESCRIPTION	SLOPE	DEPTH TO SEASONAL HIGH WATER TABLE (FT)	DEPTH TO BEDROCK (FT)
Mc	Made land, Limestone materials	Gently Sloping	1-5	1-15

SEQUENCE OF CONSTRUCTION

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED IN COMPLIANCE WITH CHAPTER 102 REGULATIONS BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

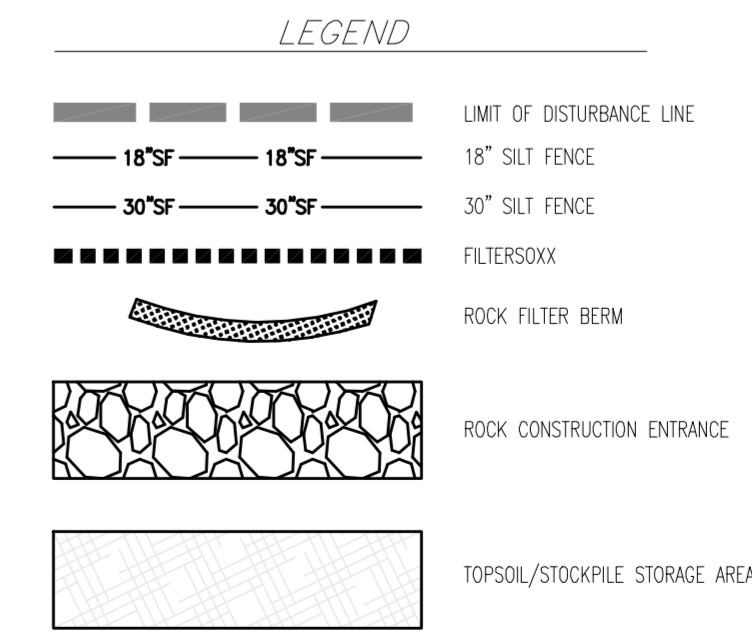
AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL CONTACT ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENTATION CONTROL PLAN PREPARED, AND A REPRESENTATIVE OF THE MONTGOMERY COUNTY CONSERVATION DISTRICT TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INC. AT 1-800-242-1776 FOR BURIED UTILITIES LOCATION.

BEFORE IMPLEMENTING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE MONTGOMERY COUNTY CONSERVATION DISTRICT.

THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 E. SEQ. AND 287.1 ET SEQ.

BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE OPERATOR MUST ASSURE THAT EACH SPILL OR BORROW AREA HAS AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE MONTGOMERY COUNTY CONSERVATION DISTRICT, AND WHICH IS BEING IMPLEMENTED AND MAINTAINED ACCORDING TO CHAPTER 102 REGULATIONS.

1. INSTALL STONE CONSTRUCTION ENTRANCE AS DESIGNATED WITHIN THE LIMIT OF DISTURBANCE.
2. INSTALL PERIMETER SILT FENCING, FILTER SOXX AND TEMPORARY SOIL/SPOOLS STOCKPILE. PROVIDE IMMEDIATE STABILIZATION FOR STOCKPILE.
3. REMOVE EXISTING PAVING, DEMOLISH EXISTING STRUCTURES.
4. ROUGH GRASS SITE AND HELZBERG BUILDING PAD AND PROVIDE TEMPORARY STABILIZATION.
5. INSTALL BOREHOLE BASIN WITH LINER AND OVERFLOW PIPE. INSTALL ROCK FILTER BERM TO PREVENT SEDIMENT LADEN RUNOFF INTO THE BASIN.
6. EXCAVATE AND INSTALL ON-SITE IMPROVEMENTS INCLUDING BUILDING, CURBING, UNDERGROUND UTILITIES, AND PERFORM FINAL SITE GRADING.
7. INSTALL STONE BASE COURSE.
8. INSTALL BITUMINOUS PAVING AND CONCRETE.
9. INSTALL FINAL VEGETATION INCLUDING SOO AND LANDSCAPING. CLEAR SITE OF DEBRIS AND ALL UNWANTED MATERIALS. DISPOSAL SHALL BE IN A SAFE AND LAWFUL MANNER.
10. UPON SITE STABILIZATION (70% PERENNIAL GROWTH) AND NOTIFICATION OF THE MCO, REMOVE EROSION & SEDIMENT CONTROL FACILITIES. ANY AREA DISTURBED DURING THE REMOVAL OF EROSION AND SEDIMENT CONTROL FACILITIES SHOULD BE STABILIZED IMMEDIATELY.
11. DEMOBILIZE.



SCALE: 1" = 20'

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REVISIONS:

REV.	DATE	COMMENT	BY

PROJECT No.: PHL08-0303
DRAWN BY: MKG
CHECKED BY: C.B.
DATE: 02/11/09
SCALE: 1"=20'
CAD ID.: PHL08-0303SITE-0

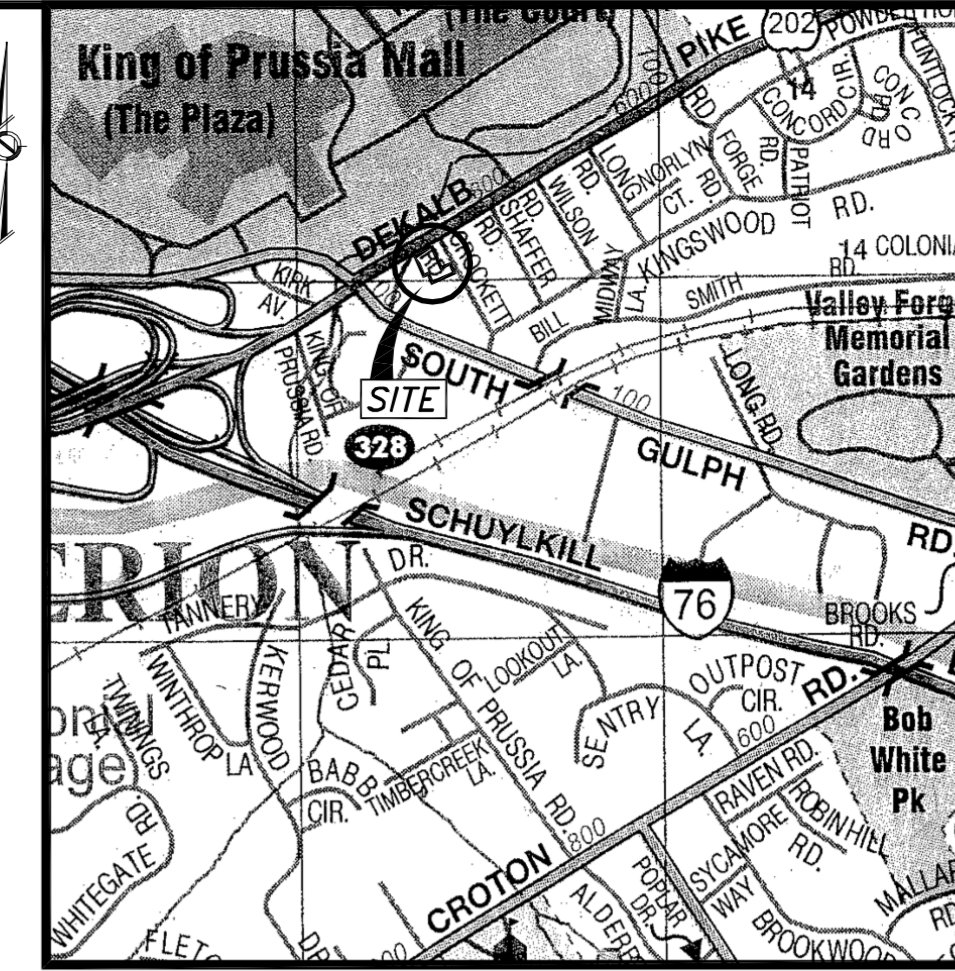
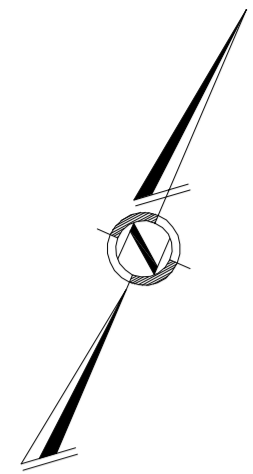
PROJECT:
**PRELIMINARY/FINAL
LAND DEVELOPMENT
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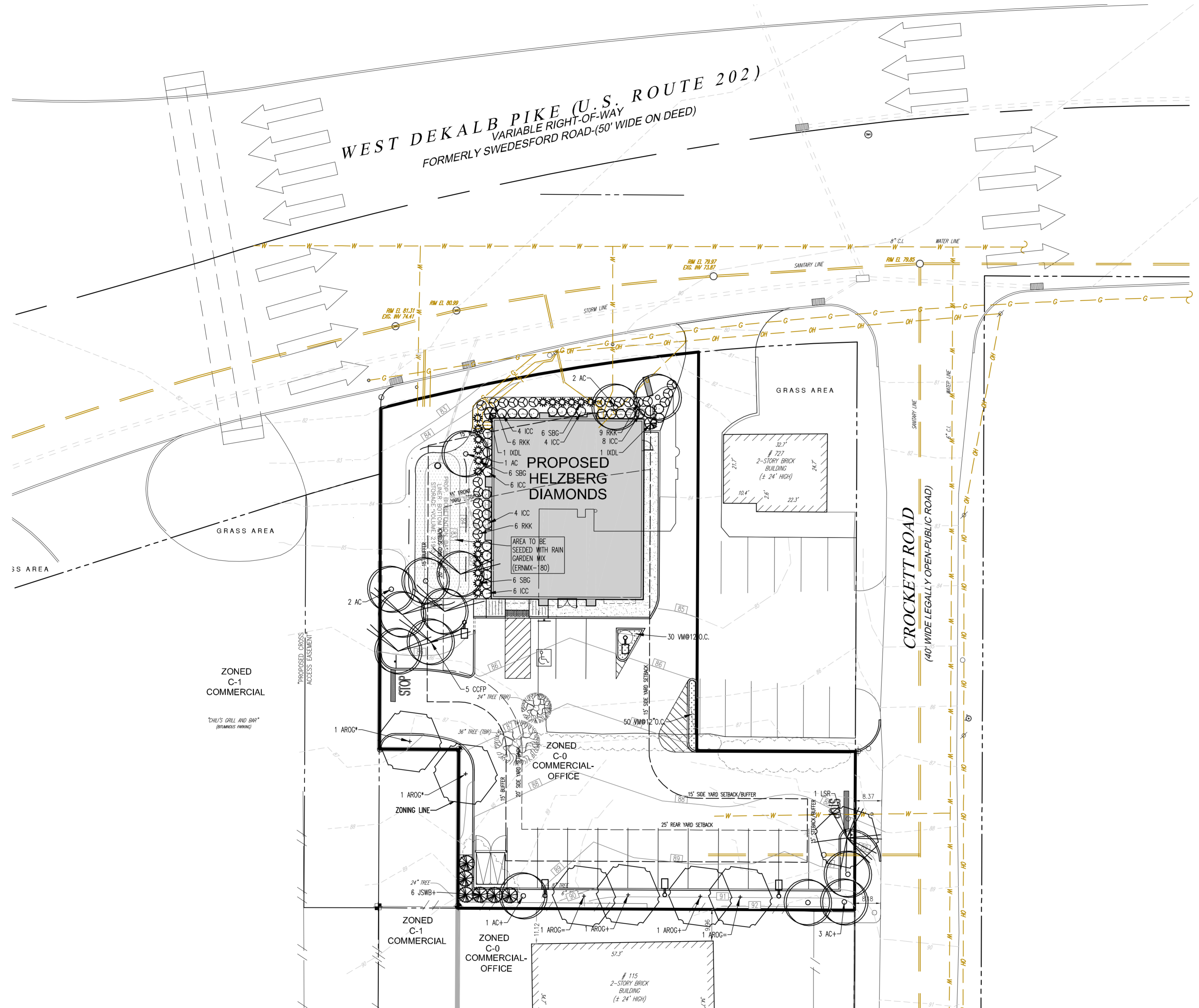
C. BROWN
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE No. PE-075317

SHEET TITLE:
**EROSION AND
SEDIMENTATION
CONTROL PLAN**
SHEET NUMBER:
5
OF 10
REVISION 0 - 2009.02.11

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LOCATION MAP
1" = 1000'
500 0 1,000



COMPLIANCE CHART

SECTION	REQUIREMENT	CALCULATIONS (REQUIRED/PROVIDED)	COMPLIANCE
S.A.L.D.O. SECTION 145-24.1 LANDSCAPING REQUIREMENTS	4. TREE REPLACEMENT PLANTING REQUIREMENTS a. EACH MATURE TREE HAVING A CALIPER OF 12" OR MORE, SHALL BE REPLACED WITH A SIMILAR TYPE.	TREES TO BE REMOVED: 2 REQUIRED: 2 DECIDUOUS TREES PROVIDED: 2 AROG (2 DECIDUOUS TREES) * PLANT MATERIAL UTILIZED TO MEET REQUIREMENT	COMPLIES
	D. ALL PARKING LOTS WITH 10 OR MORE STALLS SHALL BE LANDSCAPED WITH THE FOLLOWING REGULATIONS: A. ONE TREE SHALL BE PROVIDED FOR EVERY 10 PARKING STALLS. E.2.(d) STREET TREES SHALL BE PLANTED A MINIMUM DISTANCE OF 5 FT AND A MAXIMUM DISTANCE OF 15 FT OUTSIDE THE RIGHT OF WAY. (d) TREES SHALL BE PLANTED AT A RATE OF AT LEAST ONE TREE PER 40 LINEAR FEET OF FRONTAGE.	PARKING SPACES: 15 REQUIRED: 15/10=1.5 OR 2 TREES PROVIDED: 2 AROG (2 TREES) = PLANT MATERIAL UTILIZED TO MEET REQUIREMENT. LENGTH ALONG CROCKETT ROAD: 24.8 ± LF. REQUIRED: 24.8/40= 0.6 OR 1 TREE PROVIDED: 1 LSR (1 TREE) LENGTH ALONG WEST DEKALB PIKE: 98 ± LF. REQUIRED: 98/40= 2.4 OR 3 TREES PROVIDED: NONE PROVIDED	COMPLIES WAIVER
	G. BUFFERS AND SCREENS TABLE 1 PROPERTY LINE BUFFERS/ADJACENT LAND USE FOR EVERY 100 LINEAR FEET OF PROPERTY LINE TO BE BUFFERED, THE FOLLOWING MINIMUM QUANTITIES AND TYPES SHALL BE REQUIRED: SOFTENING BUFFER: 1 CANOPY TREE (2 TO 2 1/2 INCHED MIN. CALIPER) 2 UNDERSTORY TREES (1 1/2 INCH MIN. CALIPER) 2 EVERGREEN TREES (8 FT MIN. HEIGHT)	SOFTENING BUFFER TO THE WEST: 128 ± LF. REQUIRED: 128/100= 1.28 OR 2 PLANT UNITS 2 CANOPY TREE, 4 UNDERSTORY, 4 EVERGREEN TREES NO PLANT MATERIAL HAS BEEN PROVIDED. SOFTENING BUFFER TO THE SOUTH: 125 ± LF. REQUIRED: 125/100= 1.25 OR 2 PLANT UNITS 2 CANOPY TREE, 4 UNDERSTORY, 4 EVERGREEN TREES PROVIDED: 2 AROG (2 CANOPY TREES); 4 AC (4 UNDERSTORY TREES); 6 JSWB (6 EVERGREEN TREES) + PLANT MATERIAL UTILIZED TO MEET REQUIREMENT.	WAIVER COMPLIES
H. BUILDING PLANTINGS	1. ONE CANOPY TREE OR TWO UNDERSTORY TREES SHALL BE PLANTED FOR EVERY 50 LINEAR FEET OF THE PROPOSED BUILDING PERIMETER. b. 5 DECIDUOUS OR EVERGREEN SHRUBS 18 INCH MIN. HEIGHT SHALL BE PLANTED FOR EVERY 20 LINEAR FT. OF THE PROPOSED BUILDING PERIMETER.	LENGTH OF PROPOSED HELZBERG DIAMOND: 210± LF. REQUIRED: 210/50= 4.2 OR 5 TREES 210/20= 10.5 X 5= 52.5 OR 53 SHRUBS PROVIDED: 5 AC, 5 CCPP (10 UNDERSTORY TREES); 32 ICC, 21 RKK, 2 IDL, 18 SBC (73 SHRUBS)	COMPLIES

LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES(S)					
AROG	6	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	B+B
LSR	1	LIQUIDAMBAR STYRACIFLUA 'ROTUNDOLOBA'	SEEDLESS SWEETGUM	2 1/2-3" CAL.	B+B
ORNAMENTAL TREE(S)					
AC	9	AMELANCHIER CANADENSIS	MULTI STEM SHADBLOW SERVICEBERRY	8-10'	B+B
CCPP	5	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	2-2 1/2" CAL.	B+B
EVERGREEN TREE(S)					
JSWB	6	JUNPERUS SCOPIULORUM 'WICHITA BLUE'	ROCKY MOUNTAIN JUNPER	8-9'	B+B
EVERGREEN SHRUB(S)					
ICC	32	ILEX CRENATA 'COMPACTA'	COMPACT JAPANESE HOLLY	18-24"	CONTAINER
IDL	2	ILEX X 'DRAGON LADY'	DRAGON LADY HOLLY	30-36"	CONTAINER
RKK	21	RHOODODENDRON X KURUME 'KAREN'	KAREN AZALEA	18-24"	CONTAINER
DECIDUOUS SHRUB(S)					
SBC	18	SPIREA X 'BUMALDA 'GOLDFLAME'	GOLD FLAME SPIREA	18-24"	CONTAINER
GROUND COVER					
VM	80	VINCA MINOR	PERIWINKLE/MYRTLE	PEAT POTS	2 YR. PLANTS

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

GENERAL NOTES:

- THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
- ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH LANDSCAPE SPECIFICATION #2.C., UNLESS OTHERWISE STATED ON THIS PLAN.
- SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BARBER OVERHANG.
- THE CONTRACTOR SHALL SUBMIT AN IRRIGATION DESIGN FOR BOTH LAWN & BED AREAS TO THE PROJECT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR OR ENGINEER RESPONSIBLE TO PROVIDE ANY PRESSURE REDUCING DEVICES REQUIRED TO MEET MAXIMUM PRESSURE REQUIREMENT. SYSTEM DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACK FLOW PREVENTION, METERS, CONTROLLERS, AND ROUTING SLEEVES AS NECESSARY.
- SEE LANDSCAPE DETAILS SHEET 8 FOR DETAILS AND SPECIFICATIONS.

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D. BROWN

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PENNSYLVANIA LICENSE # 0000000000

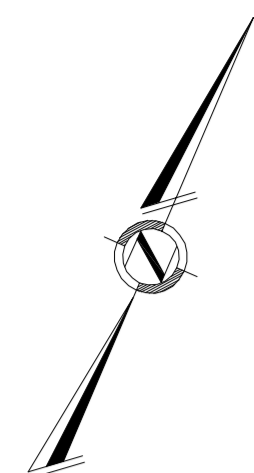
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**LANDSCAPE
PLAN**

SHEET NUMBER:
7
OF 10

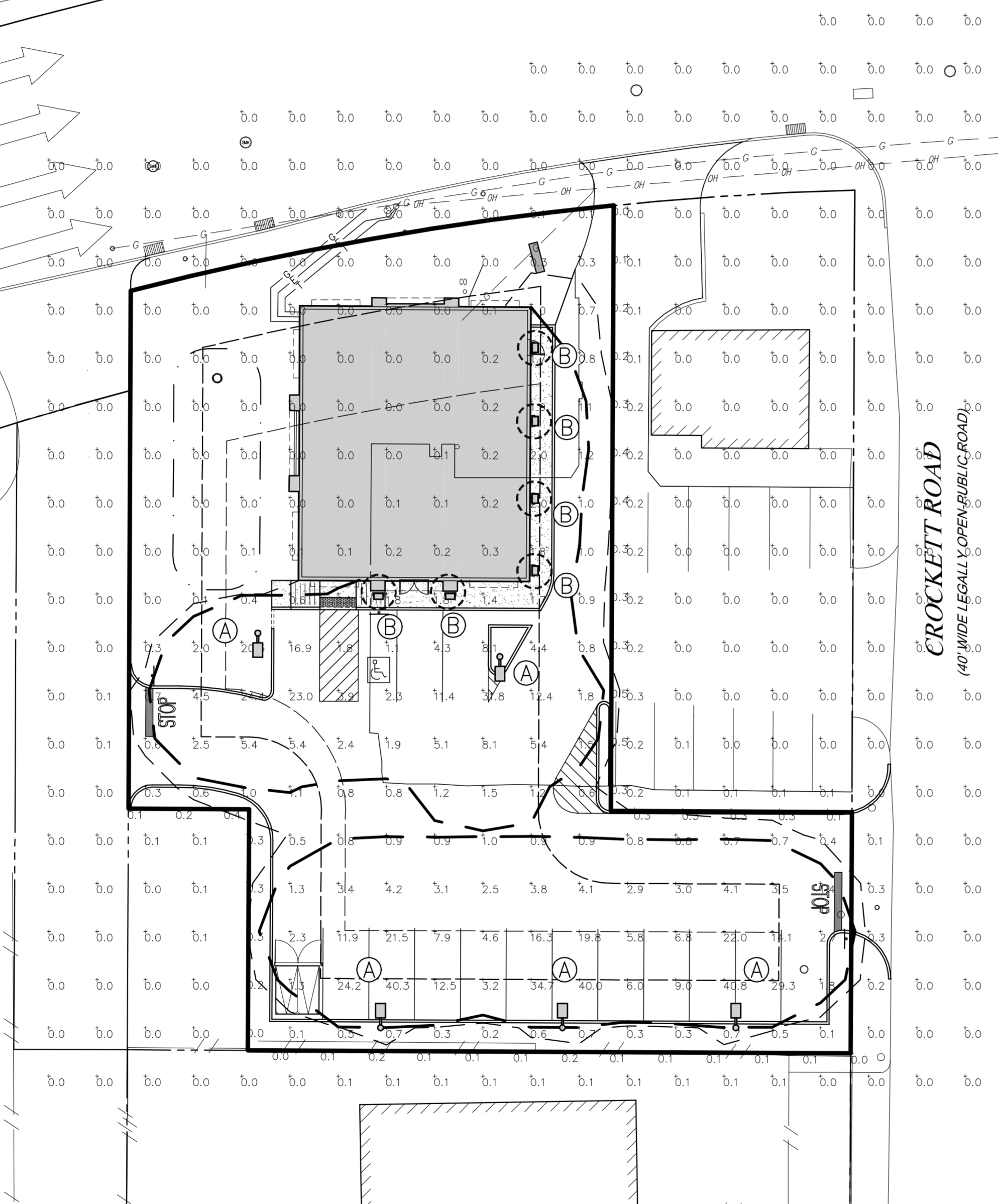
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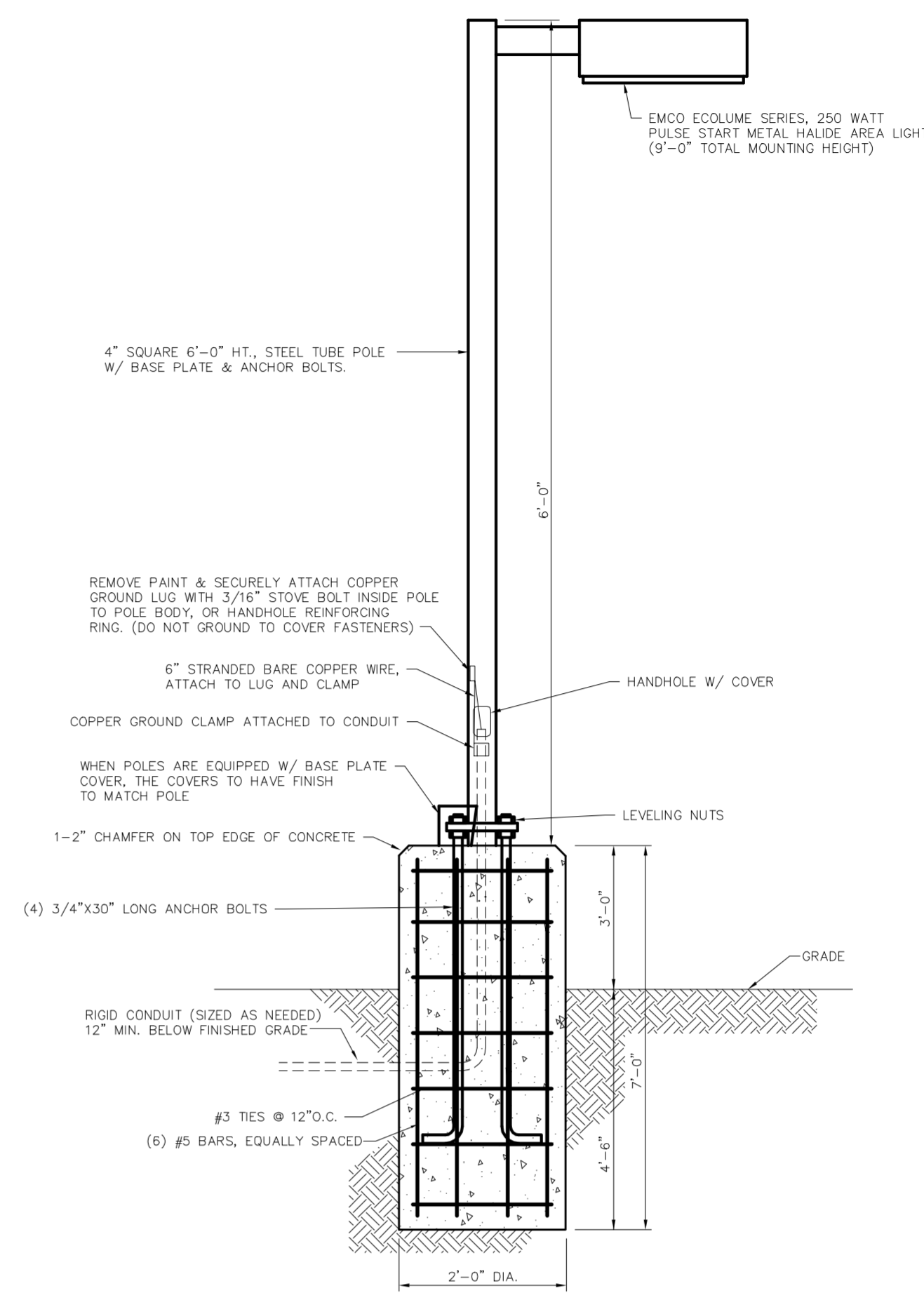
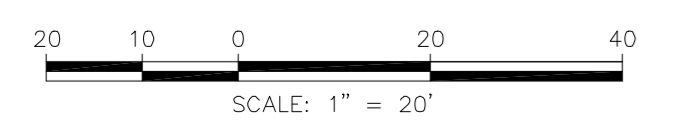
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WEST DEKALB PIKE (U.S. ROUTE 202)
 VARIABLE RIGHT-OF-WAY
 FORMERLY SWEDES FORD ROAD (50' WIDE ON DEED)



CROCKETT ROAD
 (40' WIDE LEGALLY OPEN PUBLIC ROAD)



NOTES:
 1. CONTRACTOR TO ENSURE DESIGN IS PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS, SITE SPECIFIC SOIL PARAMETERS.
 2. ALL REBAR SHALL HAVE A YIELD STRENGTH OF 60ksi, AND MAINTAIN A 3\"/>

LIGHT POLE DETAIL
 N.T.S.

LUMINAIRE SCHEDULE & LEGEND

LABEL	QTY	ARRANGEMENT	LUMENS	LLF	MOUNTING HEIGHT	DESCRIPTION
A	5	SINGLE	22000	0.75	9 FEET	EMCO ECOLUME, 250 WATT PSMH, TYPE N FULL-CUTOFF AREA FIXTURE, SHIELDED (ECA18-FH-250PSMH-HS)
B	6	SINGLE	1000	0.75	11 FEET	GARDCO 141 SERIES, 250 WATT PSMH FULL-CUTOFF SCANCE, WIDE-THROW (141-WT-250PSMH)



CALCULATION SUMMARY

LABEL	CALC TYPE	AVG	MAX	MIN	Avg/Min	Max/Min
SOUTHERN PROPERTY LINE	ILLUMINANCE	0.15	0.4	0.0	N.A.	N.A.
NORTHERN PROPERTY LINE	ILLUMINANCE	0.28	0.5	0.0	N.A.	N.A.
PARKING AREA	ILLUMINANCE	7.80	40.8	0.4	19.50	102.00

TOWNSHIP REQUIREMENTS
 165-215.E.1. - ALL LIGHTING FIXTURES FOR OFF-STREET PARKING AREAS, OFF-STREET LOADING AREAS, DRIVEWAYS AND FOR SAFETY OF PERSONS AND PROPERTY MUST MEET IESNA FULL-CUTOFF CRITERIA.
 165-215.E.3.(g) - THE MAXIMUM HEIGHT OF LIGHT FIXTURES, INCLUDING THE MOUNTING BASE, SHALL BE EIGHT FEET AT THE PROPERTY LINE WHICH ADJUTS A NON-RESIDENTIALLY ZONED PROPERTY AND THE HEIGHT MAY RISE ONE FOOT FOR EVERY THREE FEET IN DISTANCE AWAY FROM THE PROPERTY LINE TO A MAXIMUM OF 30 FEET.
 1650215.F.2.a. - IN NO CASE SHALL ILLUMINATION EXCEED 0.5 FOOT-CANDELES, WHEN MEASURED, AT THE PROPERTY LINE OF AN AGREED-UPON PROPERTY OF NON-RESIDENTIAL USE.

LIGHTING NOTES
 1. THIS PLAN IS TO BE USED FOR LIGHTING PURPOSES ONLY.
 2. ALL PROPOSED FIXTURES MEET IESNA FULL-CUTOFF CRITERIA.
 3. ONLY LIGHTING INDICATED ON THIS PLAN IS INTENDED FOR SECURITY PURPOSES. ALL LIGHTING NOT INTENDED FOR SECURITY PURPOSES SHALL BE EXTINGUISHED BETWEEN THE HOURS OF 11 PM AND 6 AM.
 4. VEGETATION, FENCING OR OTHER SIMILAR SCREENING METHODS WERE NOT MODELLED AS PART OF THIS LIGHTING PLAN.

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 DRAWN BY: MGK
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 CAD ID: PHL08-0303LGT-0

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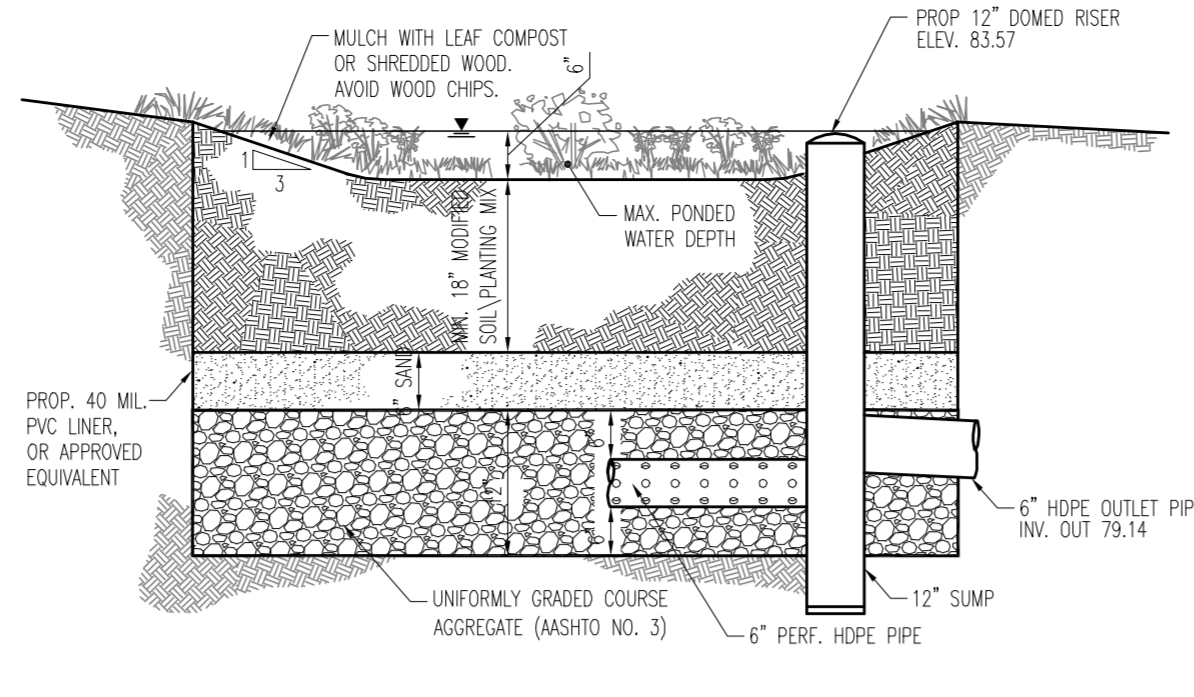
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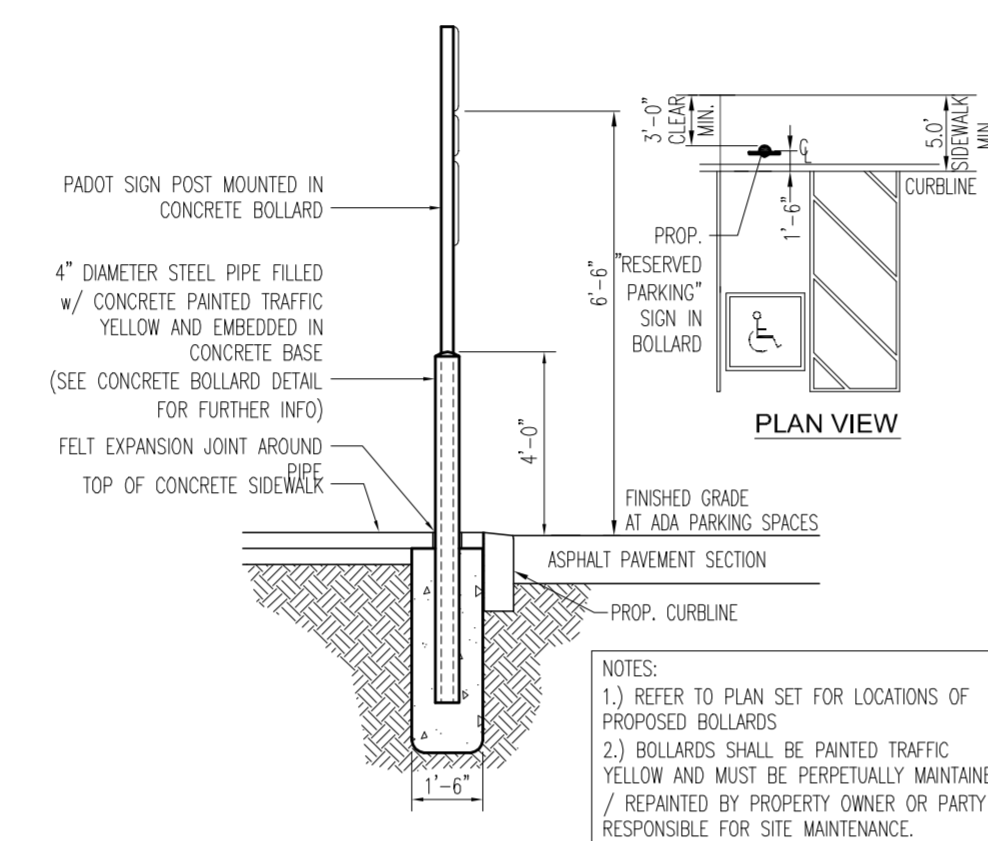
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LIGHTING PLAN

SHEET NUMBER:
9
 OF 10

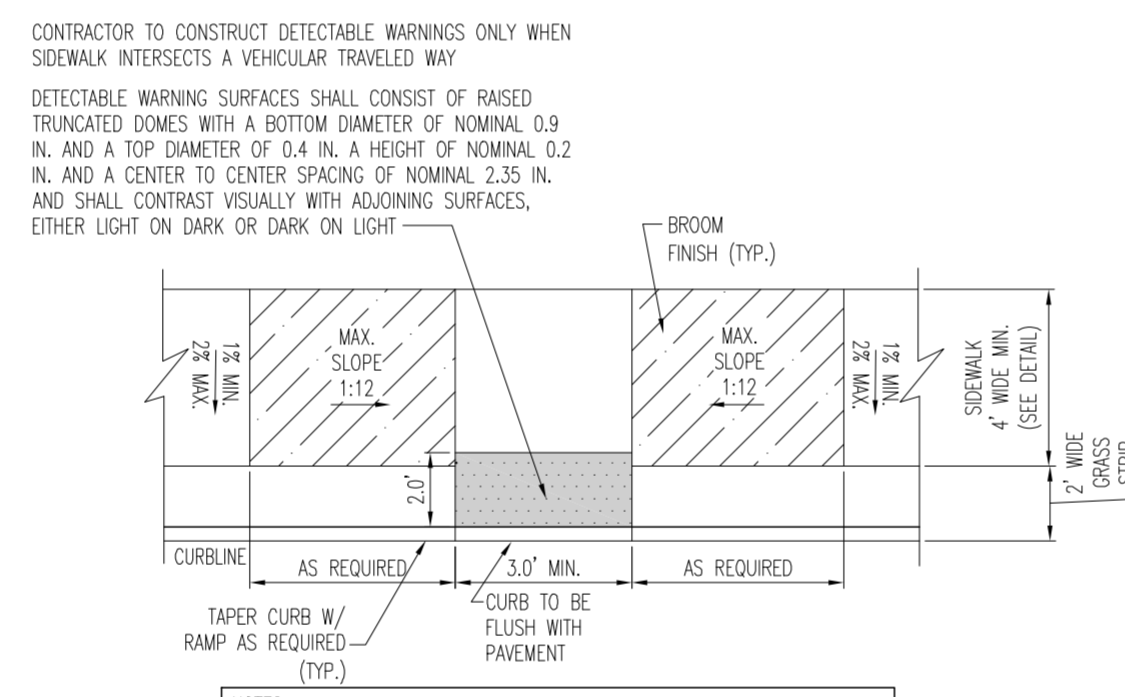
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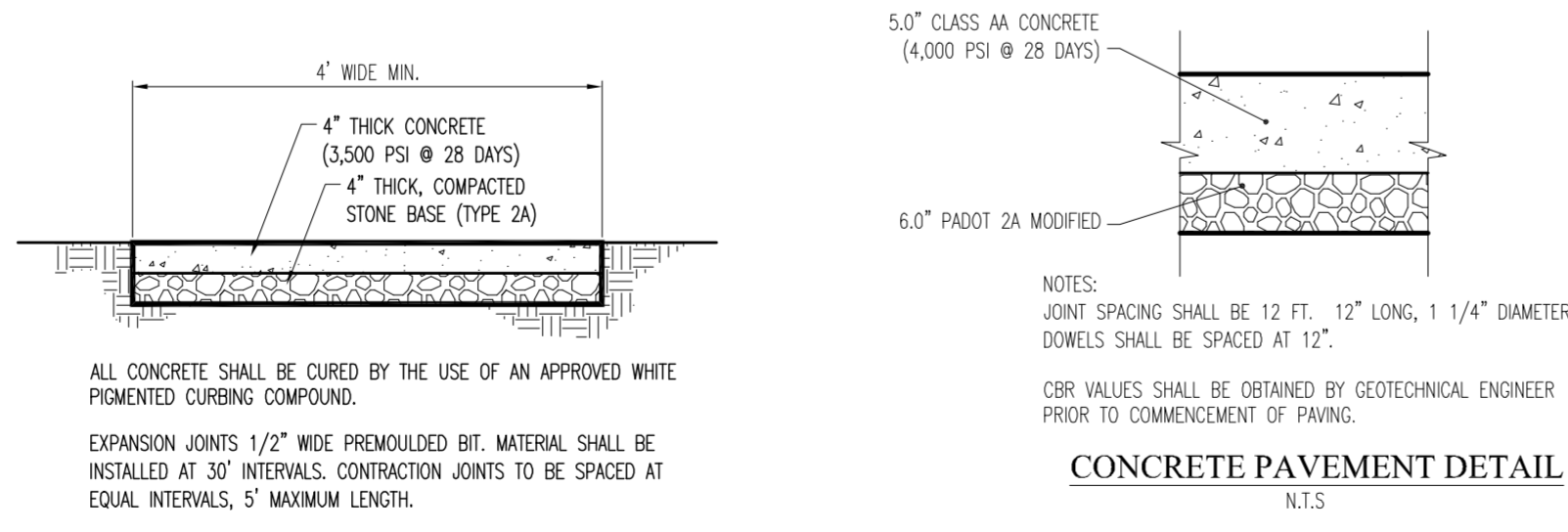
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N.T.S.



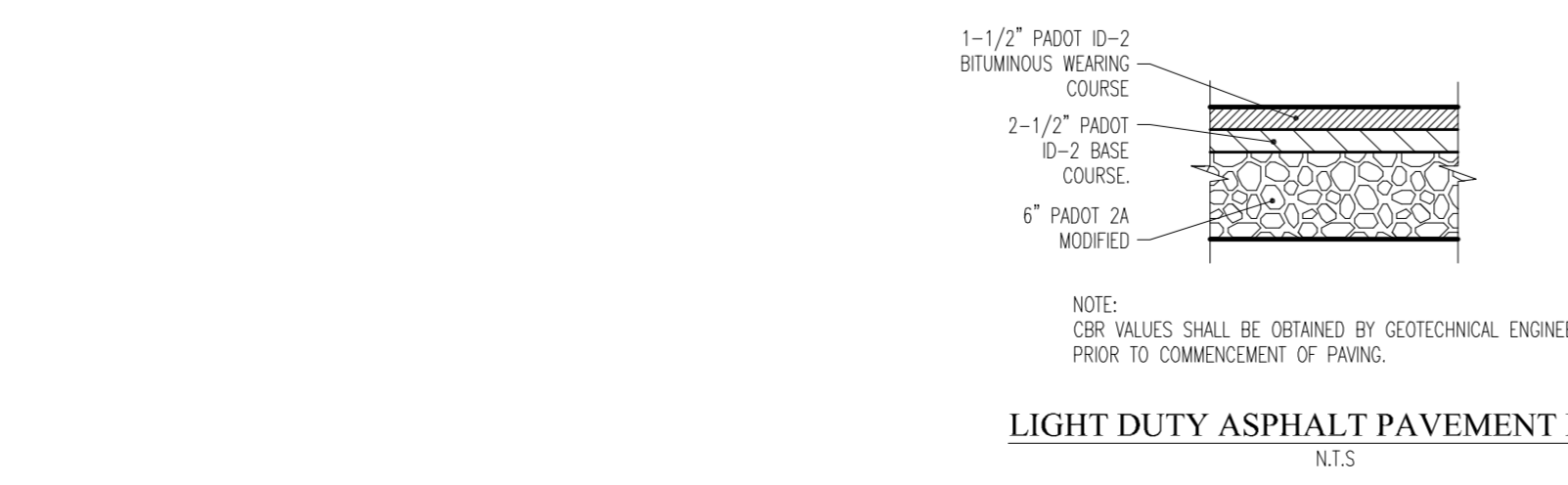
"RESERVED PARKING" SIGN IN BOLLARD DETAIL
N.T.S.



A.D.A CURB RAMP
N.T.S.



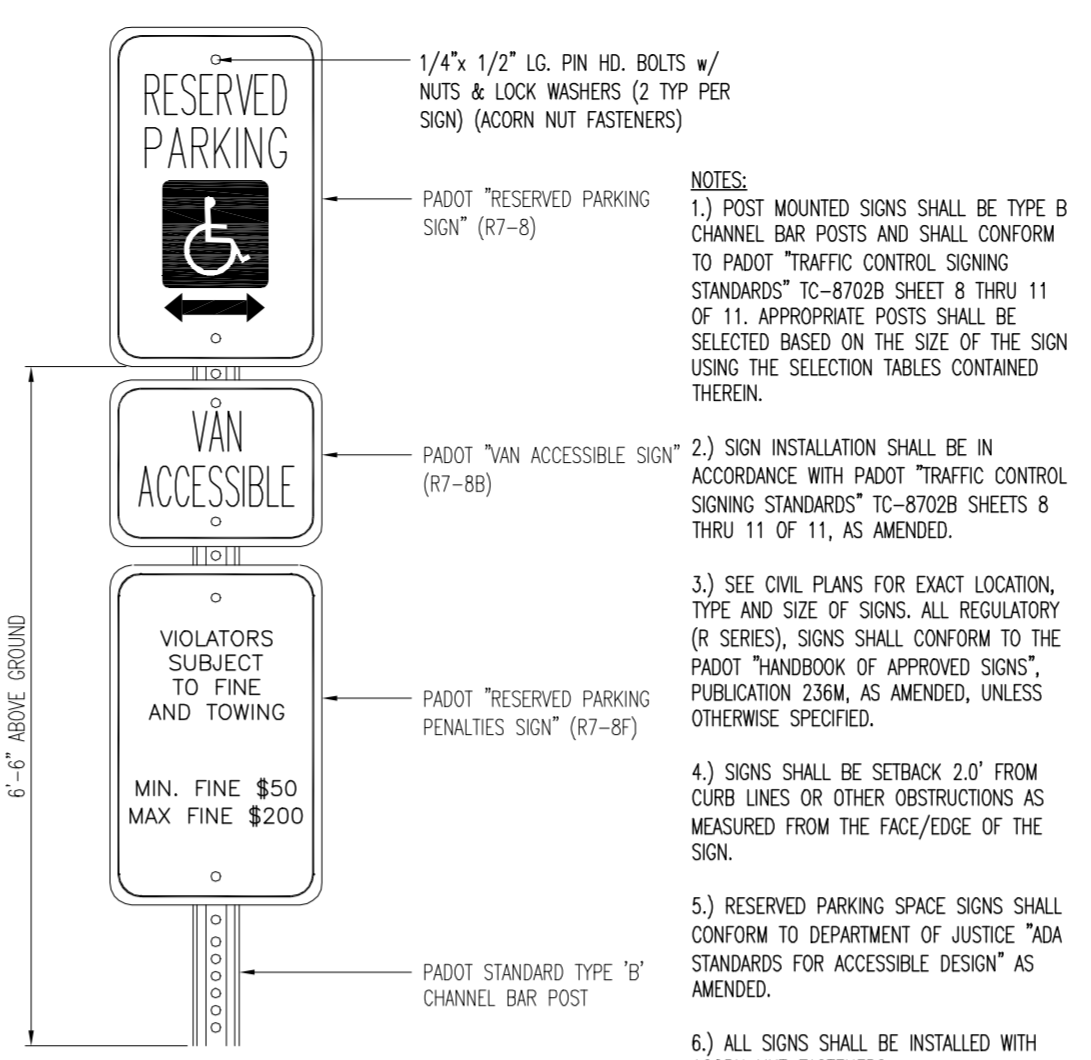
CONCRETE PAVEMENT DETAIL
N.T.S.



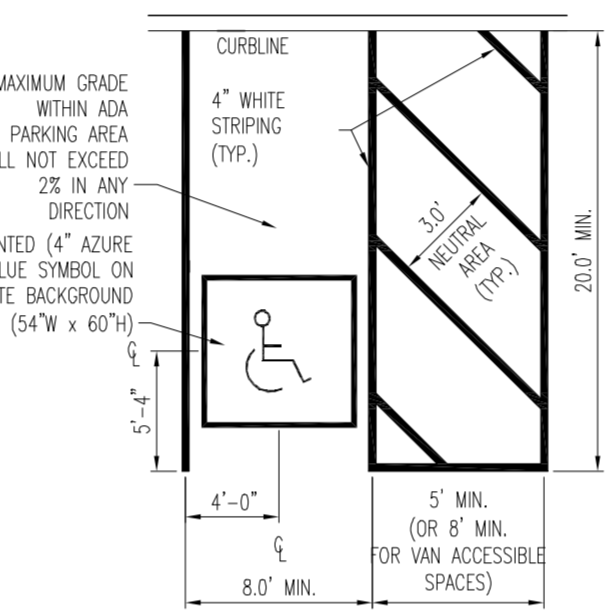
CONCRETE SIDEWALK DETAIL
N.T.S.



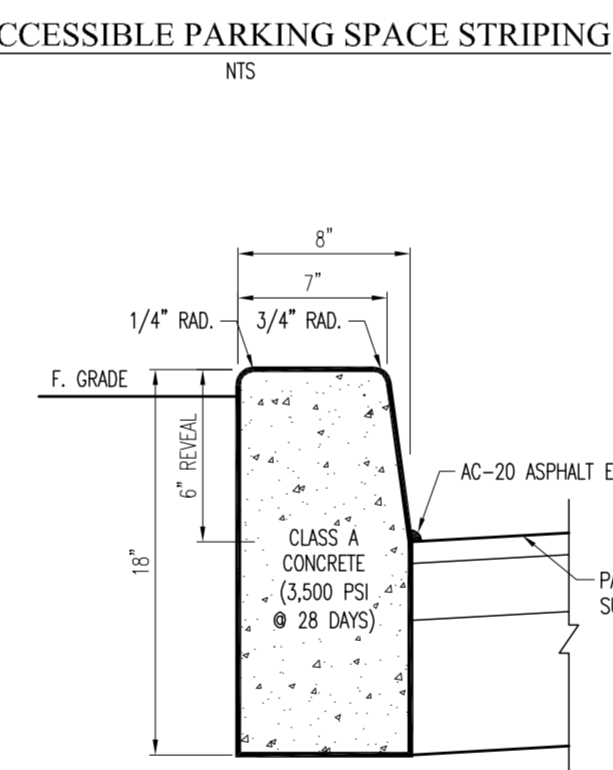
LIGHT DUTY ASPHALT PAVEMENT DETAIL
N.T.S.



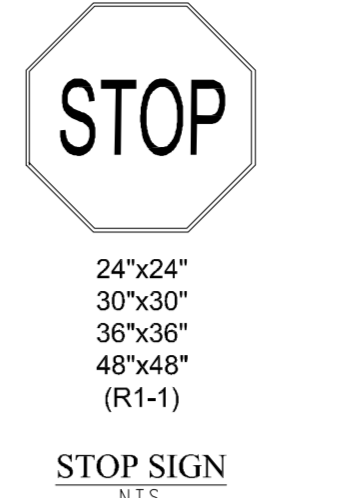
RESERVED PARKING SPACE
w/ PENALTIES & VAN ACCESSIBLE SIGNS
N.T.S.



A.D.A ACCESSIBLE PARKING SPACE STRIPING
N.T.S.



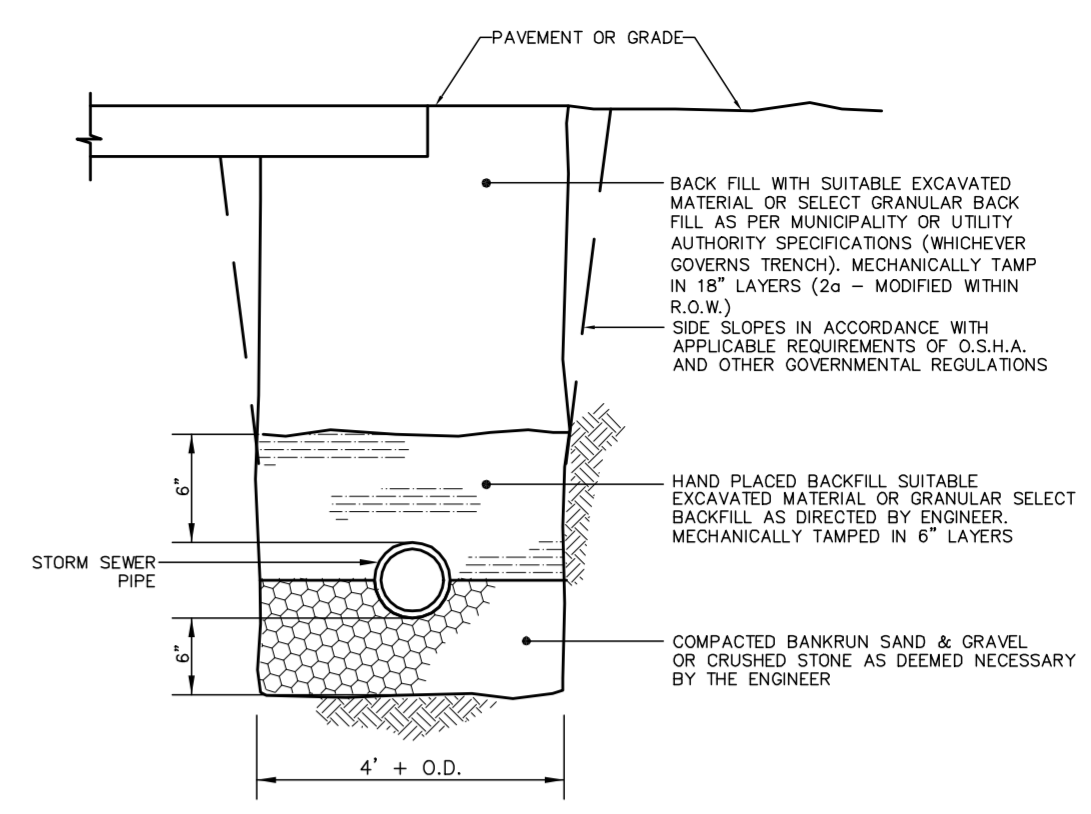
TYPICAL CONCRETE CURB
N.T.S.



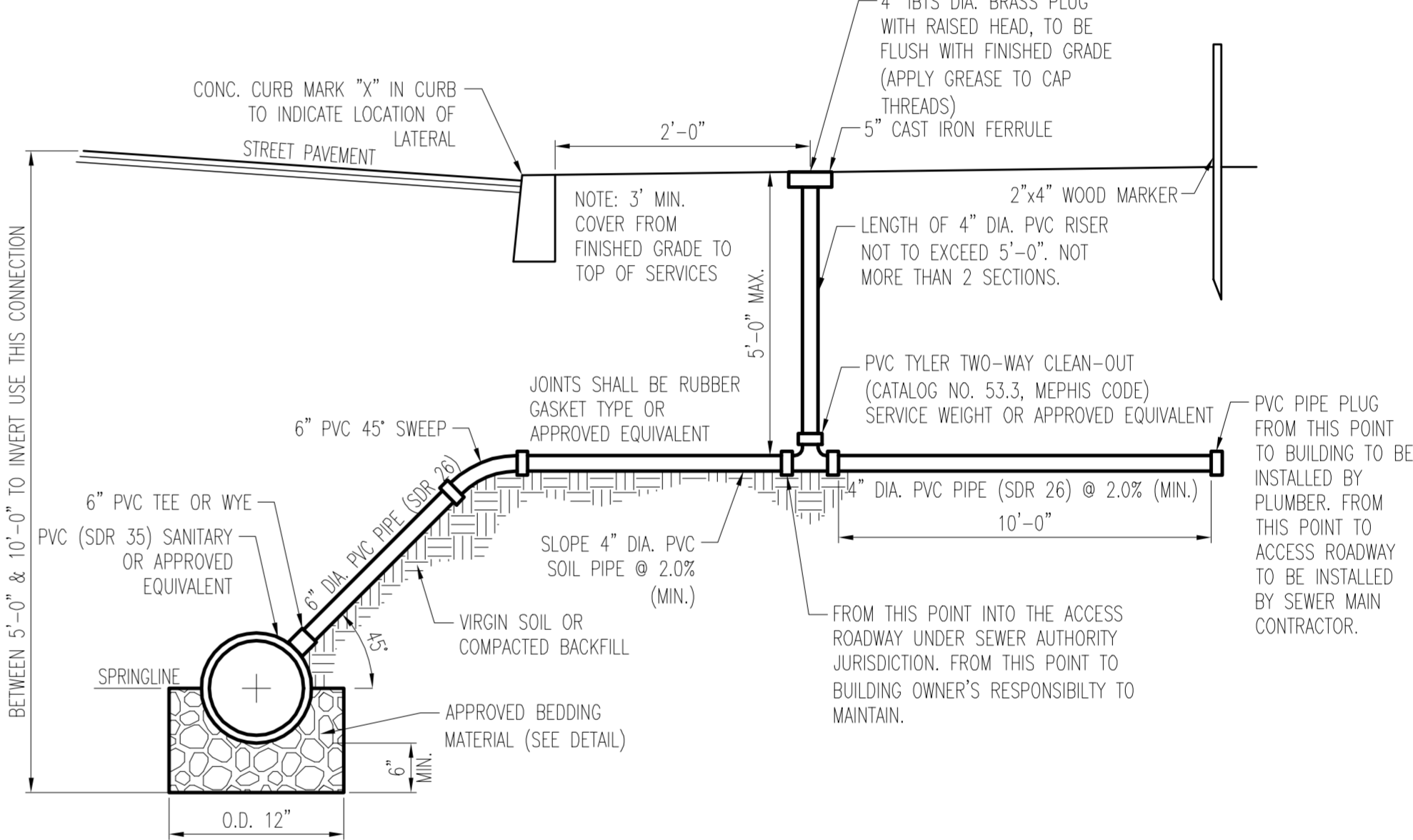
STOP SIGN
N.T.S.



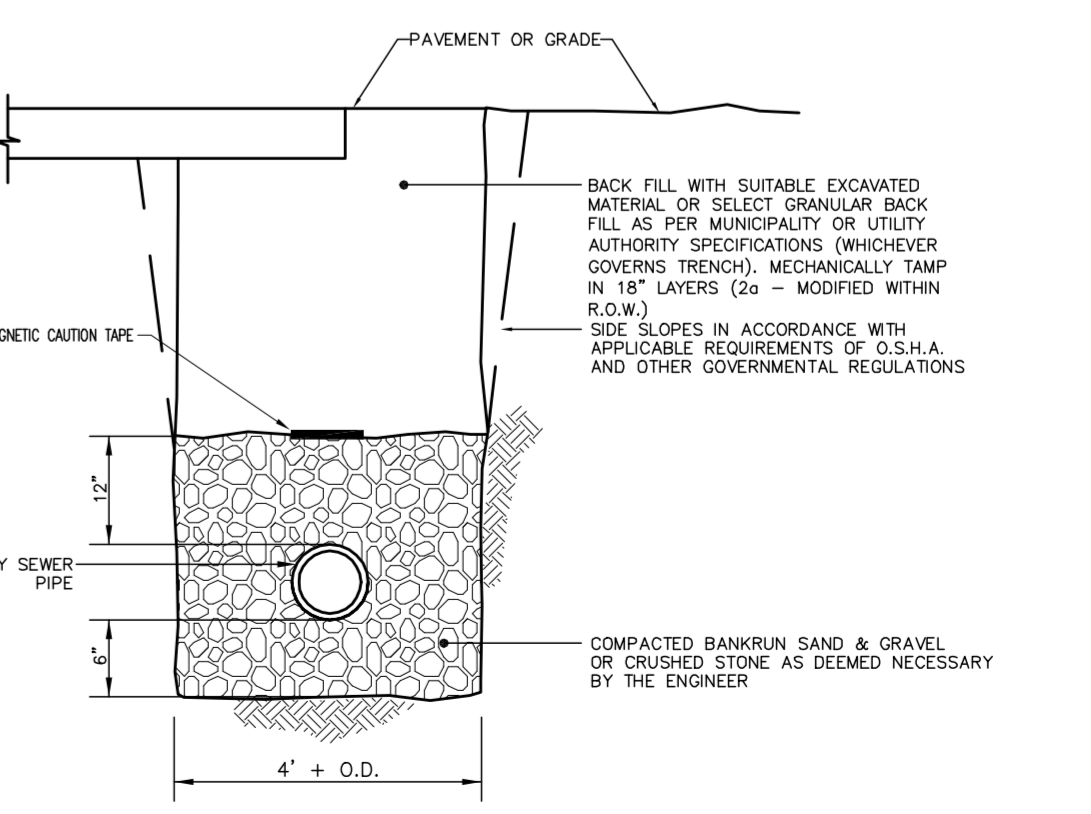
PAINTED STOP BAR & "STOP" LETTERING
N.T.S.



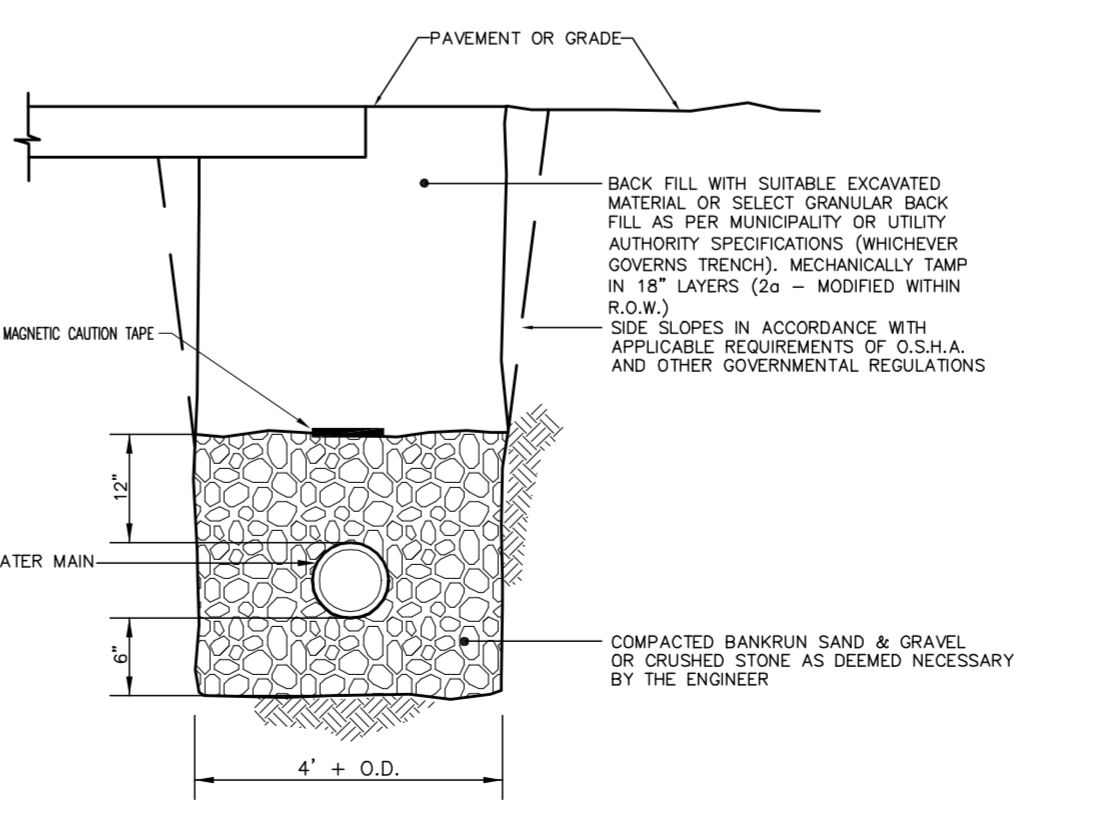
TRENCH PIPE BEDDING CLASSIFICATION (STORM)
N.T.S.



TYPICAL SANITARY SEWER LATERAL DETAIL
N.T.S.



TRENCH PIPE BEDDING CLASSIFICATION (SANITARY MAIN)
N.T.S.



TRENCH PIPE BEDDING CLASSIFICATION (WATER MAIN)
N.T.S.

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SHEET TITLE:
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SHEET NUMBER:
10
OF 10

REVISION 0 - 2009.02.11

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